

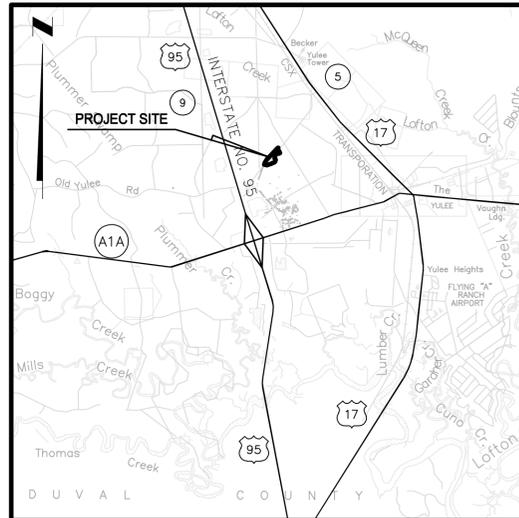
# WILDLIGHT PARCEL 5D MASS GRADING

NASSAU COUNTY, FLORIDA

FOR

**DAVID WEEKLEY  
HOMES, LLC**

680 CROSSWATER PARKWAY  
PONTE VEDRA BEACH, FL 32081



LOCATION MAP

N.T.S.

OWNER:	WILDLIGHT, LLC 1 RAYONIER WAY YULEE, FL 32097
DEVELOPER:	DAVID WEEKLEY HOMES, LLC 680 CROSSWATER PARKWAY PONTE VEDRA BEACH, FL 32081 (904) 201-6400
ENGINEER:	ENGLAND-THIMS & MILLER, INC. 14775 OLD ST. AUGUSTINE RD. JACKSONVILLE, FL 32258 904-265-3163 ATTN: SCOTT A. WILD, P.E.
SURVEYOR:	L.D. BRADLEY LAND SURVEYORS 510 S. 5TH STREET MACLENNY, FL 32063 (904) 786-6400 EXT. 2
LANDSCAPE:	ENGLAND-THIMS & MILLER, INC. 14775 OLD ST. AUGUSTINE RD. JACKSONVILLE, FL 32258 904-265-3163 ATTN: GERALD K. WHITE.



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**England-Thims & Miller, Inc.**

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TEL: (904) 642-8990  
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DRAWING INDEX			
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REVISIONS:

ETH NO. 19-239-12

DRAWN BY: MBG, CLG

DESIGNED BY: AMN

CHECKED BY: BLW

DATE: 7/21/2022

PLANS PREPARED UNDER THE DIRECTION OF:

SCOTT A. WILD  
P.E. NUMBER: 47030

14775 Old St. Augustine Rd.  
Jacksonville, Florida 32258

(904) 642-8990

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COVER SHEET

WILDLIGHT PARCEL 5D - MASS GRADING  
FOR  
DAVID WEEKLEY HOMES, LLC

DRAWING NUMBER

1

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THE FLORIDA PROFESSIONAL ENGINEER NAMED HEREIN SHALL BE RESPONSIBLE FOR THE DRAWINGS LISTED IN THIS BOX IN ACCORDANCE WITH RULE 61G15-23-003, F.A.C. THESE SHEETS HAVE BEEN SIGNED AND SEALED USING A DIGITAL SIGNATURE BY: SCOTT A. WILD P.E. NUMBER: 47030

ENGLAND-THIMS & MILLER, INC.  
14775 OLD ST. AUGUSTINE ROAD  
JACKSONVILLE, FLORIDA 32258  
PHONE (904) 642-8990  
CERTIFICATE OF AUTHORIZATION NUMBER: 00002584

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THE FLORIDA REGISTERED LANDSCAPE ARCHITECT NAMED HEREIN SHALL BE RESPONSIBLE FOR THE DRAWINGS LISTED IN THIS BOX. THESE SHEETS HAVE BEEN SIGNED AND SEALED USING A DIGITAL SIGNATURE BY: GERALD K. WHITE L.A. NUMBER: 6667024

ENGLAND-THIMS & MILLER, INC.  
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JACKSONVILLE, FLORIDA 32258  
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DRAWING NUMBER  
**1A**

**SIGNATURE SHEET**  
**WILDLIGHT PARCEL 5D - MASS GRADING**  
**FOR**  
**DAVID WEEKLEY HOMES, LLC**

**ETM**  
ENGLAND-THIMS & MILLER

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ETH NO. 19-239-12  
DRAWN BY: MBG, CLS  
DESIGNED BY: AMN  
CHECKED BY: BLW  
DATE: 7/21/2022

PLANS PREPARED UNDER  
THE DIRECTION OF:

SCOTT A. WILD  
P.E. NUMBER: 47030

GENERAL SITE NOTES:

- 1. ALL WORK SHALL BE PERFORMED IN A SAFE MANNER. ALL SAFETY RULES AND GUIDELINES OF O.S.H.A. SHALL BE FOLLOWED. THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR ANY INJURIES TO HIS EMPLOYEES, AND FOR ANY DAMAGE TO PRIVATE PROPERTY OR PERSONS DURING THE COURSE OF THIS PROJECT. ALL COSTS ASSOCIATED WITH COMPLYING WITH OSHA REGULATIONS AND THE FLORIDA TRENCH SAFETY ACT MUST BE INCLUDED IN THE CONTRACTORS BID.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE JOB SITE PRIOR TO PREPARING THE BID FOR THE PURPOSE OF FAMILIARIZING HIMSELF WITH THE NATURE AND THE EXTENT OF THE WORK AND LOCAL CONDITIONS, EITHER SURFACE OR SUB-SURFACE, WHICH MAY AFFECT THE WORK TO BE PERFORMED, AND THE EQUIPMENT, LABOR AND MATERIALS REQUIRED. FAILURE TO DO SO WILL NOT RELIEVE THE CONTRACTOR OF COMPLETE PERFORMANCE UNDER THE CONSTRUCTION CONTRACT. THE CONTRACTOR SHALL CONTACT SUNSHINE STATE ONE CALL OF FLORIDA (811) FOR UTILITY LOCATES IN ACCORDANCE WITH STATE LAW PRIOR TO EXCAVATING. THE CONTRACTOR IS ALSO URGED TO TAKE COLOR PHOTOGRAPHS ALONG THE ROUTE OF OR WITHIN THE PROJECT TO RECORD EXISTING CONDITIONS PRIOR TO CONSTRUCTION, AND TO AID IN RESOLVING POSSIBLE FUTURE ISSUES THAT MAY OCCUR DUE TO THE CONSTRUCTION OF THE PROJECT.
3. THE CONTRACTOR SHALL VERIFY LOCATIONS OF EXISTING STRUCTURES, IMPROVEMENTS, UTILITIES, PROPERTY LINES, AND CONFIRM ALL PROPOSED DIMENSIONS AND ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION OR ORDERING ANY MATERIALS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING A PERMANENT STAND OF 300 AND/OR GRASS PER NASSAU COUNTY STANDARDS AND MEETING THE FINAL STABILIZATION REQUIREMENTS (SEE NASSAU COUNTY DEVELOPMENT REVIEW GENERAL NOTES #7 & #8.)
5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO EITHER CONDUCT ANY FIELD EXPLORATION OR ACQUIRE ANY GEOTECHNICAL ASSISTANCE REQUIRED TO ESTIMATE THE AMOUNT OF UNSUITABLE MATERIAL THAT WILL REQUIRE REMOVAL AND/OR TO ESTIMATE THE AMOUNT OF OFF SITE BORROW THAT WILL BE REQUIRED. FAILURE OF THE CONTRACTOR TO IDENTIFY/QUANTIFY THE AMOUNT OF UNSUITABLE MATERIAL TO BE REMOVED AND REPLACED DURING THE BID PROCESS WILL NOT RELIEVE THE CONTRACTOR OF COMPLETE PERFORMANCE UNDER THE CONSTRUCTION CONTRACT.
6. ALL MATERIALS AND WORKMANSHIP ARE TO BE WARRANTED BY THE CONTRACTOR TO THE OWNER AND THE NASSAU COUNTY FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY THE OWNER AND NASSAU COUNTY.
7. THE LOCATION OF ALL EXISTING UTILITIES, STRUCTURES AND IMPROVEMENTS SHOWN ON THE DRAWINGS IS BASED ON LIMITED INFORMATION AND MAY NOT HAVE BEEN FIELD VERIFIED. THE LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL NOTIFY RESPECTIVE UTILITY OWNERS AND FIELD VERIFY LOCATIONS OF EXISTING UTILITIES AND OTHER IMPROVEMENTS PRIOR TO COMMENCING ANY CONSTRUCTION. IF THE LOCATIONS SHOWN ARE CONTRARY TO THE ACTUAL LOCATIONS, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF THE DISCREPANCY. THIS DISCREPANCY SHOULD BE RESOLVED PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING IN AREAS NEAR EXISTING UTILITIES AND IMPROVEMENTS AND SHALL BE RESPONSIBLE FOR AND SHALL REPAIR OR PAY FOR ALL DAMAGE MADE TO EXISTING UTILITIES OR OTHER IMPROVEMENTS. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL GRADES, INVERTS AND TYPE OF MATERIAL OF EXISTING UTILITIES TO WHICH HE SHALL CONNECT, AND NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES.
8. UNLESS DIRECTED OTHERWISE BY THE OWNER OR THE ENGINEER, THE CONTRACTOR WILL CONTRACT WITH AN INDEPENDENT TESTING LABORATORY TO PERFORM MATERIAL TESTING AND SOIL TESTING IN ACCORDANCE WITH COUNTY REQUIREMENTS.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE REQUIRED FOR THE PROJECT INCLUDING NASSAU COUNTY RIGHT-OF-WAY PERMITS FOR WORK IN THE COUNTY RIGHT-OF-WAY OR EASEMENT. CONTRACTOR IS RESPONSIBLE FOR CONTROL OF SEDIMENTATION AND RUNOFF RESULTING FROM RAINFALL EVENTS DURING THE CONSTRUCTION OF THE PROJECT. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH REGULATORY PERMITS ISSUED FOR THE PROJECT.
10. THE CONTRACTOR SHALL COORDINATE THE WORK WITHIN COUNTY OR STATE RIGHT-OF-WAY WITH THE APPROPRIATE AGENCIES FOR MAINTENANCE OF TRAFFIC AND METHOD OF CONSTRUCTION & REPAIR.
11. IF DEWATERING CAPACITY REQUIRES A CONSUMPTIVE USE PERMIT (C.U.P.) IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE PERMIT THROUGH THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND THE ENGINEER FOR APPROVAL OF ALL DEWATERING OPERATIONS PRIOR TO COMMENCEMENT.
12. PRIOR TO ANY DISCHARGE OF GROUND WATER (DEWATERING) FROM CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT TO WATERS OF THE STATE (INCLUDING, BUT NOT LIMITED TO, WETLANDS, SWALES AND MUNICIPAL STORM SEWERS), THE CONTRACTOR SHALL TEST THE EFFLUENT (WATER TO BE DISCHARGED) IN ACCORDANCE WITH RULE 62-621.300(2), F.A.C. IF THE TEST RESULTS ON THE EFFLUENT ARE BELOW THE SCREENING VALUES OF RULE 62-621.300(2), F.A.C., THE CONTRACTOR SHALL SUBMIT A SUMMARY OF THE PROPOSED CONSTRUCTION ACTIVITY AND THE TEST RESULTS TO THE DEPARTMENT OF ENVIRONMENTAL PROTECTION DISTRICT OFFICE, WITHIN ONE (1) WEEK AFTER DISCHARGE BEGINS. THE CONTRACTOR SHALL CONTINUE TO SAMPLE THE EFFLUENT AS REQUIRED THROUGHOUT THE PROJECT AND COMPLY WITH ALL CONDITIONS OF RULE 62-621.300(2), F.A.C. IF THE GROUND WATER EXCEEDS THE SCREENING VALUES OF RULE 62-621.300(2), F.A.C., THE CONTRACTOR SHALL COMPLY WITH OTHER APPLICABLE RULES AND REGULATIONS PRIOR TO DISCHARGE OF THE EFFLUENT (GROUND WATER) TO SURFACE WATERS OF THE STATE.

GENERAL SITE NOTES:

- 12. ALL AREAS SHOWN TO BE FILLED SHALL BE CLEARED AND GRUBBED IN ACCORDANCE WITH NASSAU COUNTY STANDARDS AND SHALL BE FILLED WITH CLEAN STRUCTURAL FILL COMPACTED AND TESTED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT.
13. CLEARING AND GRUBBING REQUIRED FOR ALL ROADWAY, UTILITIES, DITCHES, BERMS, RIGHTS-OF-WAYS AND EASEMENTS (INCLUDING ELECTRIC EASEMENTS) ARE INCLUDED IN THIS PROJECT.
15. ALL ACCESS EASEMENTS ARE TO BE STABILIZED AND DRIVABLE.
16. ALL DEBRIS RESULTING FROM ALL ACTIVITIES SHALL BE DISPOSED OF OFF-SITE BY CONTRACTOR.
17. BURNING OF TREES, BRUSH AND OTHER MATERIAL SHALL BE APPROVED, PERMITTED AND COORDINATED WITH NASSAU COUNTY FIRE MARSHAL AND ALL OTHER PERMITTING AUTHORITIES BY THE CONTRACTOR.
18. UNSUITABLE MATERIALS UNDER UTILITY OR STORM PIPE, STRUCTURES, PAVEMENT, BUILDING PADS, OR HARDSCAPE ELEMENTS SHALL BE REMOVED AND REPLACED WITH SELECTED BACKFILL, PROPERLY COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
19. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL SURVEY AND PROPERTY MONUMENTS. IF A MONUMENT IS DISTURBED, THE CONTRACTOR SHALL CONTRACT WITH THE SURVEYOR OF RECORD FOR REINSTALLATION OF THE MONUMENT.
20. ALL UNDERGROUND UTILITIES TO BE INSTALLED UNDER PAVEMENT MUST BE INSTALLED PRIOR TO PREPARATION OF SUBGRADE FOR PAVEMENT.
21. THE CONTRACTOR SHALL COORDINATE HIS CONSTRUCTION WITH ALL OTHER CONTRACTORS. IN THE EVENT OF ANY CONFLICT WHATSOEVER, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND OWNER PRIOR TO PROCEEDING WITH CONSTRUCTION.
22. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS ON ALL MATERIALS TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO PURCHASE OR CONSTRUCTION OF ANY UTILITY OR STORM PIPE OR STRUCTURE.
23. AUGER BORINGS PROVIDED BY UNIVERSAL ENGINEERING SCIENCES, DATED: OCTOBER 23,2020 AND OCTOBER 25,2021.
24. FLOOD ZONE BASED UPON FEMA INSURANCE RATE MAPS PANEL NOS. 12109C0170A, DATED: 12/7/2018,
25. FOR SEDIMENT AND EROSION CONTROL PLANS, DETAILS AND NOTES REFER TO DRAWINGS 14 - 16. CONTRACTOR TO COORDINATE WITH AUTHORITY FOR INSPECTIONS PRIOR TO CLEARING OPERATIONS.
26. ELEVATIONS ARE BASED ON NAVD83.
27. TOPOGRAPHIC INFORMATION BASED ON SURVEY PROVIDED BY ETM SURVEYING & MAPPING INC., DATED: OCTOBER 22, 2015,
28. BOUNDARY INFORMATION BASED ON SURVEY PROVIDED BY ETM SURVEYING & MAPPING INC., DATED: OCTOBER 11, 2021,
29. ALL WORK AND MATERIALS SHALL BE IN COMPLETE ACCORDANCE WITH ALL RELATIVE SECTIONS OF "NASSAU COUNTY LAND DEVELOPMENT CODE", (LATEST REVISION) AND ALL CURRENT COUNTY STANDARD DETAILS. THE WORK SHALL ALSO BE PERFORMED AND TESTED IN ACCORDANCE WITH THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL INVESTIGATION REPORT PROVIDED BY UNIVERSAL ENGINEERING SCIENCES, DATED: OCTOBER 23,2020 AND OCTOBER 25,2021, IF MORE STRINGENT THAN CITY REQUIREMENTS.
30. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO DETERMINE IF THIS PROJECT IS WITHIN THE COUNTY'S JURISDICTION FOR INSPECTION. IF SO THEN, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE COUNTY FOR PRE-CONSTRUCTION MEETING AND INSPECTIONS.
31. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THE EXISTING SOIL IN ALL LANDSCAPE AREAS FROM CONTAMINATION, INCLUDING BUT NOT LIMITED TO BASE MATERIALS SUCH AS LIMEROCK, CRUSHED CONCRETE AND SHALL NOT BURY OR MIX BASE MATERIAL INTO SOILS USED FOR LANDSCAPE AREAS. LANDSCAPE AREAS INCLUDE ALL AREAS WITHIN THE LIMITS OF WORK THAT ARE SHOWN ON THE APPROVED LANDSCAPE PLANS TO BE COVERED BY PRESERVED VEGETATION, TURF, PLANT BEDS, MULCHED AREAS, AND TREES. CONTRACTOR SHALL PAY SPECIAL ATTENTION TO CLEAN-UP OF THE LANDSCAPED AREAS OF THE SITE THAT ARE ADJACENT TO ASPHALT PAVEMENT AND WHERE THE BASE MATERIAL IS STORED.
32. CONTRACTOR SHALL REMOVE ALL SURPLUS MATERIAL WITHIN 24" OF THE FINAL SURFACE FROM THE LANDSCAPE AREAS, IMMEDIATELY AFTER THE PLACEMENT OF THE BASE MATERIALS (LIMEROCK / CRUSHED CONCRETE, ETC.). CONTRACTOR SHALL ALSO ENSURE THAT ALL SOIL THAT IS CONTAMINATED WITH BASE MATERIALS, WASTE, CONSTRUCTION DEBRIS, FUEL OR OTHER HAZARDOUS MATERIALS IS REMOVED FROM THE SITE AND PROPERLY DISPOSED OF PROPERLY IN ACCORDANCE WITH STATE, LOCAL AND FEDERAL LAWS. CONTRACTOR SHALL REMOVE ALL CONTAMINATED SOIL AND REPLACE WITH TOP SOIL.
33. CONTRACTOR SHALL NOT INSTALL THE TOP LAYER OF SOIL OR FINISH GRADING LANDSCAPE AREAS UNTIL THESE AREAS HAVE BEEN REVIEWED BY THE PROJECT ENGINEER.
34. PROJECT LOCATION: ST JOHNS COUNTY, FLORIDA.
35. THESE PLANS WERE GENERATED UTILIZING AUTOCAD CIVIL 3D 2022.

PAVING AND DRAINAGE NOTES:

- 1. ALL DRAINAGE STRUCTURES TO HAVE TRAFFIC BEARING GRATES.
2. ALL DRAINAGE PIPE JOINTS ARE TO BE FILTER FABRIC WRAPPED.
3. ALL INVERTS IN DRAINAGE STRUCTURES TO BE PRECAST OR BRICK WITH LAYER OF MORTAR BETWEEN EACH LAYER OF BRICK, OR REDDI-MIX CONCRETE WITH #57 STONE.
4. ALL PIPE LENGTHS ARE SCALED DIMENSIONS. ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED TO CONFORM WITH COUNTY REQUIREMENTS AND SHALL BE CONSTRUCTED TO CONFORM WITH CURBING, PROPERTY LINES AND LOW POINTS AS SHOWN ON THE PLANS.
5. CONTRACTOR SHALL ENSURE THAT ALL DRAINAGE STRUCTURES, PIPES, ETC. ARE CLEAN AND FUNCTIONING PROPERLY AT TIME OF ACCEPTANCE.
6. THE CONTRACTOR SHALL PROVIDE ACCESSIBLE CURB RAMPS AT ALL SIDEWALK AND CURB CONNECTIONS. RAMPS SHALL MEET ALL APPLICABLE ADA REQUIREMENTS.
- NASSAU COUNTY DEVELOPMENT REVIEW GENERAL NOTES
- ENGINEERING PLANS APPROVAL DOES NOT CONSTITUTE PERMISSION TO VIOLATE ANY ADOPTED FEDERAL, STATE, OR LOCAL LAW, CODE, OR ORDINANCE.
  - ALL WORK WITHIN THE PUBLIC STREETS AND RIGHT-OF-WAYS SHALL CONFORM TO NASSAU COUNTY LAND DEVELOPMENT CODES (LDC), FDOT STANDARD INDICES, FLORIDA GREENBOOK, NASSAU COUNTY ROADWAY AND DRAINAGE STANDARDS, AND NASSAU COUNTY STANDARD DETAILS AS NECESSARY. FOR ANY DISCREPANCY BETWEEN STANDARDS, THE MOST STRINGENT SHALL PREVAIL.
  - PER NASSAU COUNTY ROADWAY AND DRAINAGE STANDARDS, ORDINANCE 99-17 SECTION 6.2.4, SITE SHALL BE CONSTRUCTED PER APPROVED CONSTRUCTION DRAWINGS. ANY SUBSTANTIAL DEVIATION SHALL BE CONCURRENTLY REVIEWED BY ENGINEER OF RECORD AND NASSAU COUNTY DEVELOPMENT REVIEW COMMITTEE PRIOR TO FIELD CHANGES.
  - A PRE-CONSTRUCTION MEETING WITH NASSAU COUNTY ENGINEERING SERVICES CONSTRUCTION INSPECTOR IS REQUIRED. ATTENDEES SHALL BE NASSAU COUNTY, ENGINEER OF RECORD, CONTRACTOR, TESTING FIRM, PAVING FIRM, AND UTILITY COMPANIES PER NASSAU COUNTY ORDINANCE 99-17 SECTION 7.2.3. NASSAU COUNTY MAY CANCEL PRE-CONSTRUCTION MEETING IF ATTENDEE LIST IS INADEQUATE. NASSAU COUNTY ENGINEERING SERVICES CAN BE REACHED AT 904-530-6225.
  - THE CONTRACTOR SHALL SCHEDULE AND COORDINATE ALL WORK WITH THE APPROPRIATE NASSAU COUNTY CONSTRUCTION INSPECTOR ASSIGNED TO THE PROJECT PER NASSAU COUNTY ORDINANCE 99-17 SECTION 7.2.
  - ALL WORK SHALL BE PERFORMED IN A SAFE MANNER. ALL SAFETY RULES AND GUIDELINES OF O.S.H.A. SHALL BE FOLLOWED. THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR ANY INJURIES TO HIS EMPLOYEES AND ANY DAMAGE TO PRIVATE PROPERTY OR PERSONS DURING THE COURSE OF THIS PROJECT.
  - PER NASSAU COUNTY ROADWAY AND DRAINAGE STANDARDS, ORDINANCE 99-17 SECTION 11.8.1, ANY DISTURBED AREAS WITHIN NASSAU COUNTY RIGHT-OF-WAY SHALL BE SOODED.
  - PER NASSAU COUNTY ROADWAY AND DRAINAGE STANDARDS, ORDINANCE 99-17 SECTION 7.4.1, AT THE TIME OF FINAL INSPECTION, GRASSING SHALL BE A MINIMUM OF SEVENTY PERCENT COVERAGE AND FULLY ESTABLISHED AND/OR SOODING TO BE ONE HUNDRED PERCENT COVERAGE AND STABILIZED.
  - ENGINEER OF RECORD APPROVED SHOP DRAWINGS SHALL BE PROVIDED TO NASSAU COUNTY CONSTRUCTION INSPECTOR A MINIMUM OF ONE WEEK BEFORE BEGINNING STRUCTURE INSTALLATION.
  - PARKING AT MAIL KIOSKS IS REQUIRED PER NASSAU COUNTY ROADWAY AND DRAINAGE STANDARDS, ORDINANCE 99-17 SECTION 8.4. MAIL KIOSK LOCATIONS ARE SUBJECT TO USPS POSTMASTER APPROVAL.
  - THE DEVELOPER'S CONTRACTOR IS THE SINGLE RESPONSIBLE PARTY FOR THE PROPER IMPLEMENTATION OF AN EROSION PROTECTION SEDIMENT CONTROL (EPPSC) WITHIN EACH LOT OR CONSTRUCTION SITE. THIS INCLUDES THE RESPONSIBILITY FOR THE ACTIONS/INACTONS OF EMPLOYEES, SUBCONTRACTORS, AND/OR SUPPLIERS.
  - SIDEWALKS TO BE PROVIDED AND BUILT IN ACCORDANCE FLORIDA BUILDING CODE. ALL PROPOSED SIDEWALKS SHALL MEET ADA REQUIREMENTS.
  - THE CONTRACTOR SHALL COMPLY WITH CURRENT FLORIDA ACCESSIBILITY STANDARDS FOR ALL WORK ON THIS PROJECT.
  - PER ORDINANCE 99-17 SECTION 8.5.1, MINIMUM COVER FOR WATER LINES AND FORCE MAINS UNDER PAVEMENT SHALL BE 42" AND 36" IN GREEN AREAS.
  - ALL WATER, SEWER, AND STORM WATER CONSTRUCTION WITHIN NASSAU COUNTY ROW SHALL BE ACCOMPLISHED BY AN UNDERGROUND UTILITY CONTRACTOR LICENSED UNDER THE PROVISIONS OF CHAPTER 409 OF THE FLORIDA STATUTES.
  - NO WORK SHALL BE PERMITTED BETWEEN THE HOURS OF 7:00 PM - 7:00AM WITHOUT PRIOR APPROVAL FROM NASSAU COUNTY ENGINEERING SERVICES.
  - ALL TREES REQUIRED TO BE PROTECTED SHALL BE FLAGGED FOR PROTECTION PRIOR TO CLEARING.
  - ALL GRADING AND PLACEMENT OF COMPACTED FILL SHALL BE IN ACCORDANCE WITH THE LATEST NASSAU COUNTY SPECIFICATIONS.
  - ANY DAMAGES (SIDEWALK, CURB, ASPHALT, DITCH GRADING, ET CETERA) WITHIN PUBLIC RIGHT-OF-WAY SHALL BE REPAIRED OR REPLACED IN ACCORDANCE WITH NASSAU COUNTY SPECIFICATIONS. PROPOSED REPAIR METHOD SHALL BE APPROVED BY NASSAU COUNTY ENGINEERING SERVICES.
  - ANY ASPHALT MILLINGS FROM NASSAU COUNTY ROW SHALL BE DELIVERED TO THE ROAD DEPARTMENT LAYDOWN YARD LOCATED ON GENE LASSERRE BOULEVARD OR PEA FARM ROAD. PLEASE CONTACT THE ROAD DEPARTMENT AT (904) 530-6175.
  - PER NASSAU COUNTY ORDINANCE 99-17 SECTION 7.4.2 AND 7.4.4, AS-BUILT DRAWINGS SHALL BE SUBMITTED TO NASSAU COUNTY BEFORE A FINAL INSPECTION CAN BE SCHEDULED. AS-BUILTS SUBMITTALS WILL BE IN ACCORDANCE WITH NASSAU COUNTY AS-BUILT REQUIREMENT CHECKLIST. AS-BUILT DRAWINGS SHALL BE CERTIFIED BY REQUIRED LICENSED SURVEYOR AND APPROVED BY ENGINEER OF RECORD.

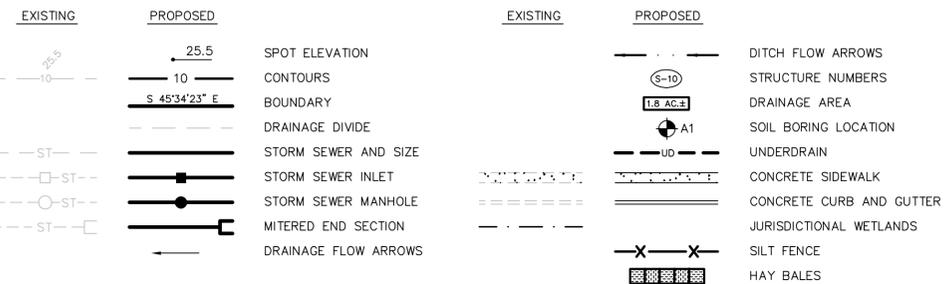
NASSAU COUNTY STORMWATER DRAINAGE NOTES:

- 1. ALL STORMWATER DRAINAGE FACILITIES WITHIN PUBLIC RIGHT-OF-WAY AND PAVED AREAS, INCLUDING NASSAU COUNTY RIGHT-OF-WAY, TURN LANES, RESIDENTIAL ROADWAYS, DRIVE AISLES FOR MULTI-FAMILY DEVELOPMENTS, AND MAJOR DRIVE AISLES FOR COMMERCIAL DEVELOPMENTS SHALL BE LASER PROFILED PER FDOT SECTION 430.
2. A BUILDER CANNOT MODIFY THE COUNTY'S STORM WATER MANAGEMENT SYSTEM INCLUDING THE PIPES, INLETS, AREA DRAINS, DITCHES AND RELATED ELEMENTS TYPICALLY WITHIN THE STREET OR WITHIN A DRAINAGE EASEMENT WITHOUT THE PRIOR WRITTEN APPROVAL OF THE COUNTY ENGINEER OR DESIGNER.
3. DRAINAGE EASEMENTS AND DITCHES SHOULD REMAIN FREE OF STOCKPILED SOIL, SEDIMENT, MUD, CONSTRUCTION MATERIALS/WASTE, ET CETERA AT ALL TIMES. POSITIVE STORMWATER FLOW MUST BE MAINTAINED THROUGHOUT CONSTRUCTION.
4. THE CONTRACTOR SHALL TEMPORARILY OR PERMANENTLY STABILIZE BARE SOIL AREAS AND SOIL STOCKPILES WHEN THE AREA IS INACTIVE FOR FOURTEEN DAYS OR MORE OR HAS REACHED FINISHED GRADE.
5. PER ORDINANCE 99-17 SECTION 11.11.5.4, ALL GRAVITY FLOW PIPE INSTALLATIONS SHALL HAVE A SOIL TIGHT JOINT PERFORMANCE UNLESS SPECIFIC SITE FACTORS WARRANT WATER-TIGHT JOINT PERFORMANCE.
6. PER ORDINANCE 99-17 SECTION 10.6.5.1, IMMEDIATELY INSTALL ADDITIONAL EROSION PROTECTION SEDIMENT CONTROL MEASURES IF SEDIMENT IS LEAVING YOUR SITE. FAILURE TO CONTAIN SEDIMENT TO YOUR SITE MAY RESULT IN DELAYED INSPECTIONS, NOTICES OF VIOLATION, CITATIONS, FINES, PENALTIES, AND/OR STOP WORK ORDERS.
7. PER 99-17 SECTION 101.2A-E, STORMWATER MANAGEMENT FOR A PROJECT SHALL NOT HAVE ADVERSE EFFECTS ON ADJACENT PROPERTIES, DOWNSTREAM STRUCTURES, OR RIGHTS OF OTHER LANDOWNERS.

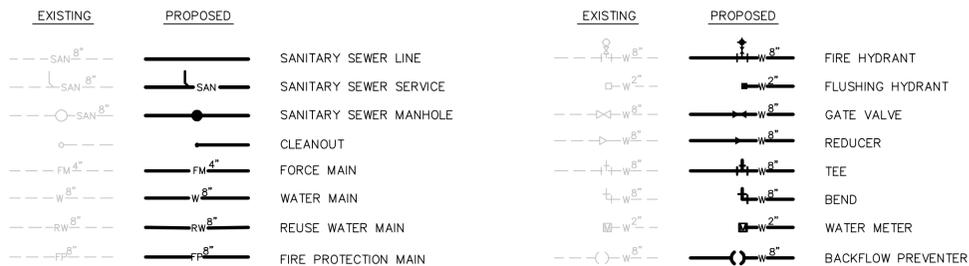
NASSAU COUNTY PAVING NOTES:

- 1. PER NASSAU COUNTY ROADWAY AND DRAINAGE STANDARDS, ORDINANCE 99-17 SECTION 12.2 AND 12.4, A CONSTRUCTION BOND AND 26-MONTH MAINTENANCE BOND WILL BE REQUIRED FOR ALL WORK WITHIN NASSAU COUNTY RIGHT-OF-WAY.
2. A PRE-PAVE MEETING IS REQUIRED PRIOR TO ANY PAVING OPERATIONS WITHIN NASSAU COUNTY ROW, RESIDENTIAL SUBDIVISIONS, OR MULTI-FAMILY DEVELOPMENTS.
3. APPROVED MIX DESIGNS SHALL BE PROVIDED TO NASSAU COUNTY CONSTRUCTION INSPECTOR 48 HOURS PRIOR TO PRE-PAVE MEETING OR PLACEMENT OF CONCRETE.
4. CONTRACTOR IS REQUIRED TO HAVE A CERTIFIED QC ASPHALT LEVEL II TECHNICIAN DURING ANY ASPHALT OPERATIONS WITHIN NASSAU COUNTY ROW, RESIDENTIAL SUBDIVISION, OR MULTI-FAMILY DEVELOPMENTS.
5. ALL BASES SHALL BE PRIMED IN ACCORDANCE WITH ORDINANCE 99-17 SECTION 11.5.2.3, NASSAU COUNTY STANDARD DETAILS, AND FDOT STANDARD SPECIFICATIONS.
6. SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH NASSAU COUNTY STANDARDS, MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), AND FDOT STANDARD PLANS.
7. MAINTENANCE OF TRAFFIC (MOT) SHALL BE IN COMPLIANCE WITH FDOT STANDARD INDEX 600 SERIES.
8. ALL WORK, MATERIALS, AND TESTING PERFORMED WITHIN NASSAU COUNTY RIGHT-OF-WAY AND SINGLE-FAMILY/MULTI-FAMILY DEVELOPMENTS SHALL BE IN ACCORDANCE WITH THE CURRENT REVISION OF NASSAU COUNTY'S ORDINANCE 99-17 AND ALL CURRENT NASSAU COUNTY STANDARD DETAILS.
9. PER ORDINANCE 99-17 SECTION 11.9.2, ALL PAVEMENT MARKINGS WITHIN NASSAU COUNTY ROW SHALL BE LEAD FREE THERMOPLASTIC MEETING NASSAU COUNTY AND FDOT STANDARD SPECIFICATION LATEST EDITION.
10. REMOVING PAVEMENT MARKINGS WITHIN NASSAU COUNTY ROW SHALL BE:
a. GRINDING OR HYDRO-BLASTING ON WEATHERED ASPHALT SURFACES.
b. HYDRO-BLASTING ONLY ON NEW ASPHALT SURFACES.
c. PAINT BLACKOUT IS PROHIBITED.
11. PER ORDINANCE 99-17 SECTION 8.5.5, ANY DAMAGE TO PAVEMENT RESULTING FROM CONSTRUCTION OR PAVEMENT MARKING REMOVAL WITHIN PUBLIC ROW NOT PLANNED AS PART OF THE PROJECT SHALL BE MILLED AND OVERLAID FOR ENTIRE WIDTH OF ROADWAY AND LENGTH OF DAMAGE PLUS 50' IN EACH DIRECTION.
12. ALL UNDERGROUND UTILITIES, OR APPROPRIATE CONDUIT SLEEVES, THAT ARE TO BE INSTALLED UNDER PAVEMENT MUST BE INSTALLED PRIOR TO PREPARATION OF THE SUBGRADE FOR PAVEMENT.
13. SINGLE VERTICAL JOINTS IN ROADWAY CONSTRUCTION SHALL BE AVOIDED IN NASSAU COUNTY RIGHT-OF-WAY USING NASSAU COUNTY STANDARD DETAIL #26.
14. ALL DRAINAGE STRUCTURES SHALL HAVE TRAFFIC BEARING GRATES THAT MEET OR EXCEED THE RATING FOR THE FACILITIES EXPECTED TRAFFIC.
15. ALL CONCRETE SHALL BE A MINIMUM OF 3000 PSI WITHIN PUBLIC RIGHT-OF-WAY

PAVING AND DRAINAGE LEGEND



WATER AND SEWER LEGEND



GENERAL NOTES AND LEGEND SHEET

WILDLIGHT PARCEL 5D - MASS GRADING FOR

DAVID WEEKLEY HOMES, LLC

DRAWING NUMBER

2

PLANS PREPARED UNDER THE DIRECTION OF:

REVISIONS:

ETH NO. 19-239-12

DRAWN BY: MBG, CLE

DESIGNED BY: AMN

CHECKED BY: BLW

DATE: 7/21/2022

14775 Old St. Augustine Rd. Jacksonville, Florida 32259

(904) 642-8990

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<b>MASS GRADING PLAN</b> <b>WILDLIGHT PARCEL 5D - MASS GRADING</b> <b>FOR</b> <b>DAVID WEEKLEY HOMES, LLC</b>		<b>DRAWING NUMBER</b> <b>3A</b>	



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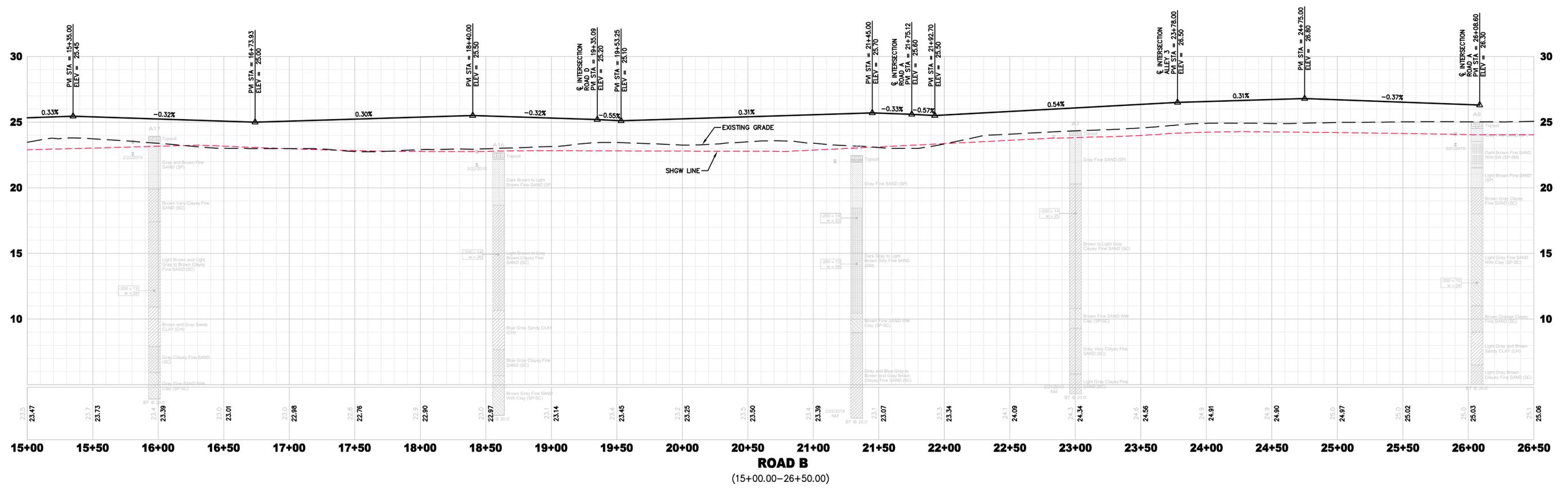
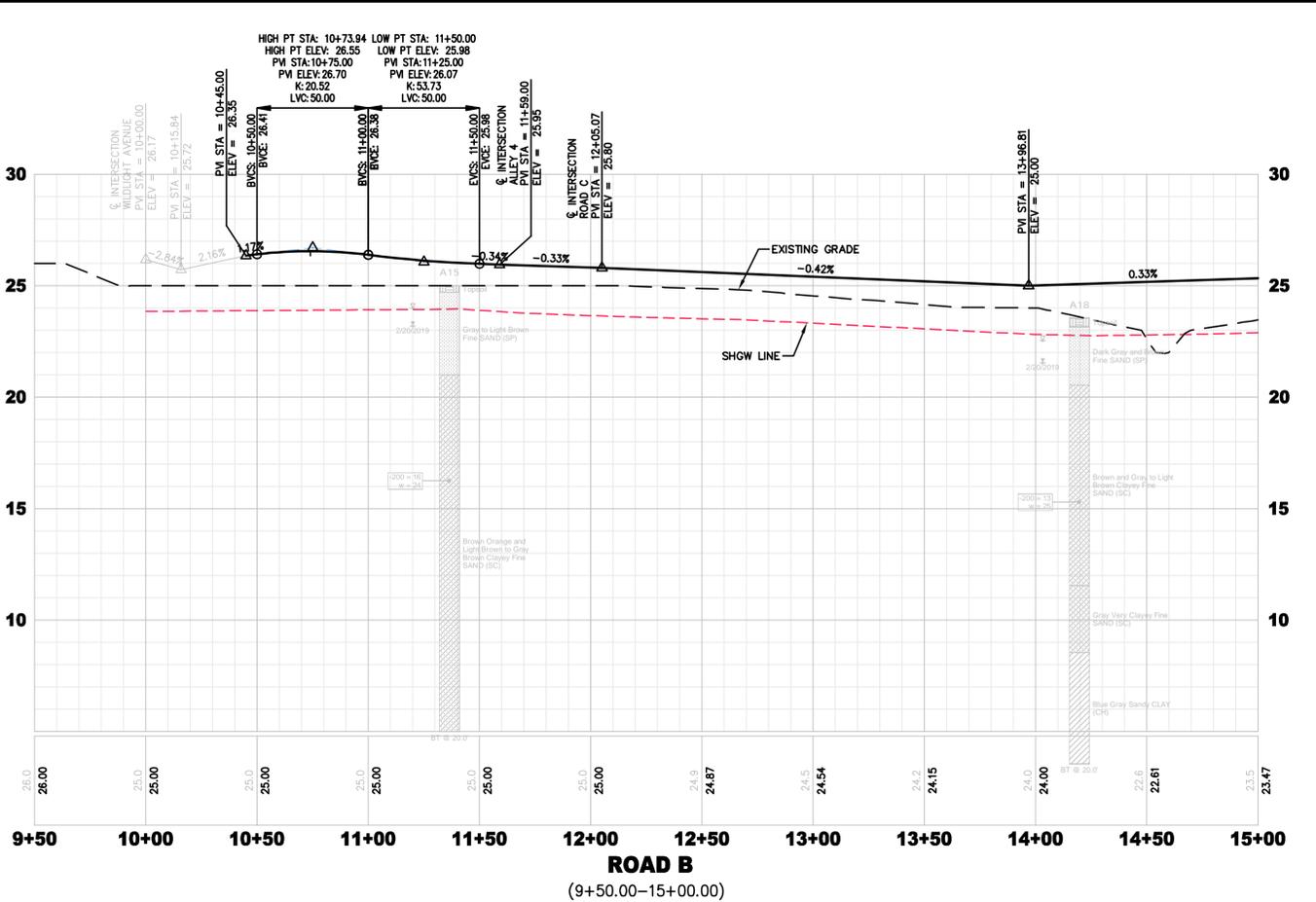
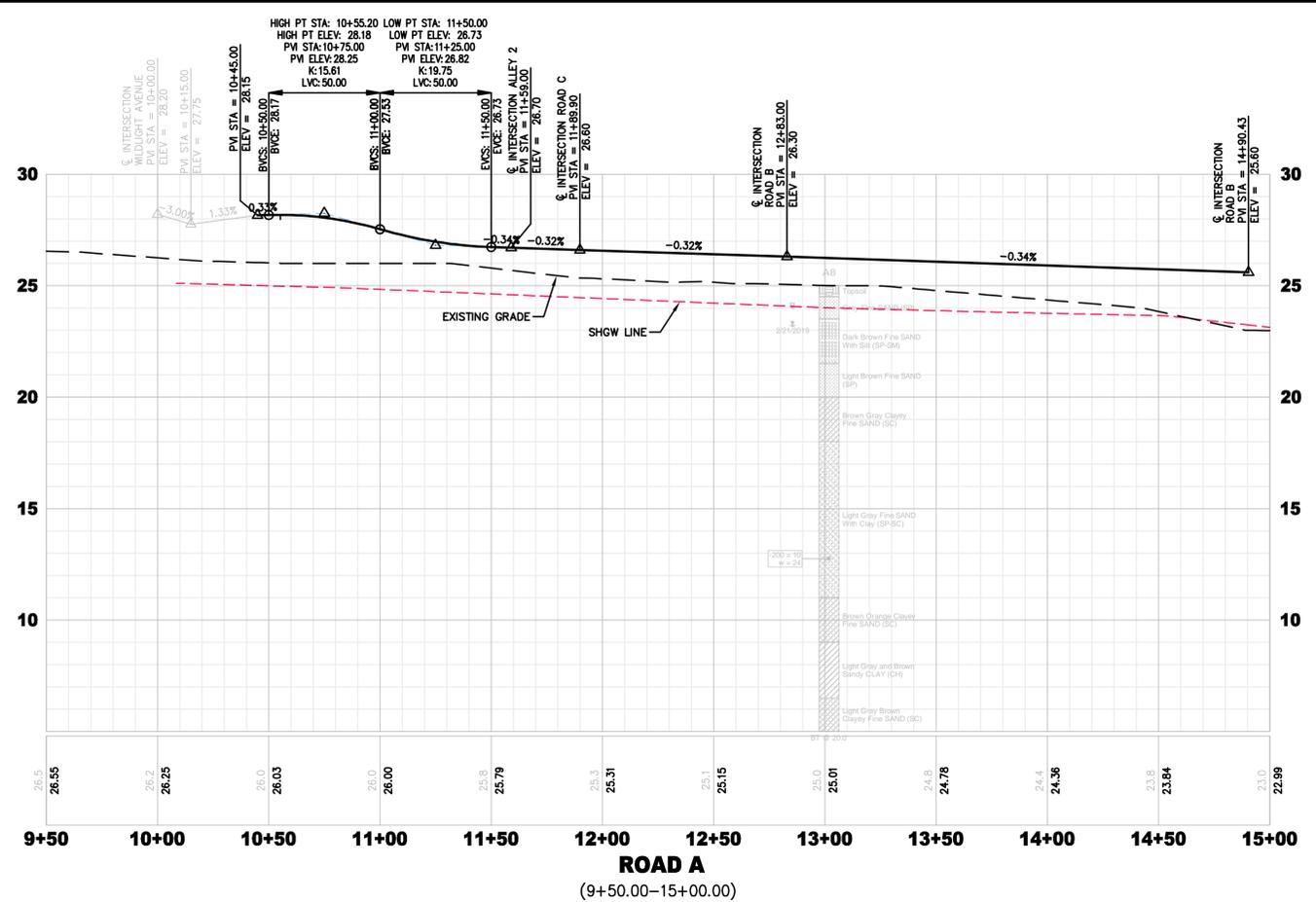
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**MASS GRADING PLAN**  
**WILDLIGHT PARCEL 5D - MASS GRADING FOR**  
**DAVID WEEKLEY HOMES, LLC**

DRAWING NUMBER  
**3B**



PLANS PREPARED UNDER THE DIRECTION OF:  
SCOTT A. WILD  
P.E. NUMBER: 47030

REVISIONS:  
 ETH NO. 19-239-12  
 DRAWN BY: MBG, CLS  
 DESIGNED BY: AMN  
 CHECKED BY: BLW  
 DATE: 7/21/2022

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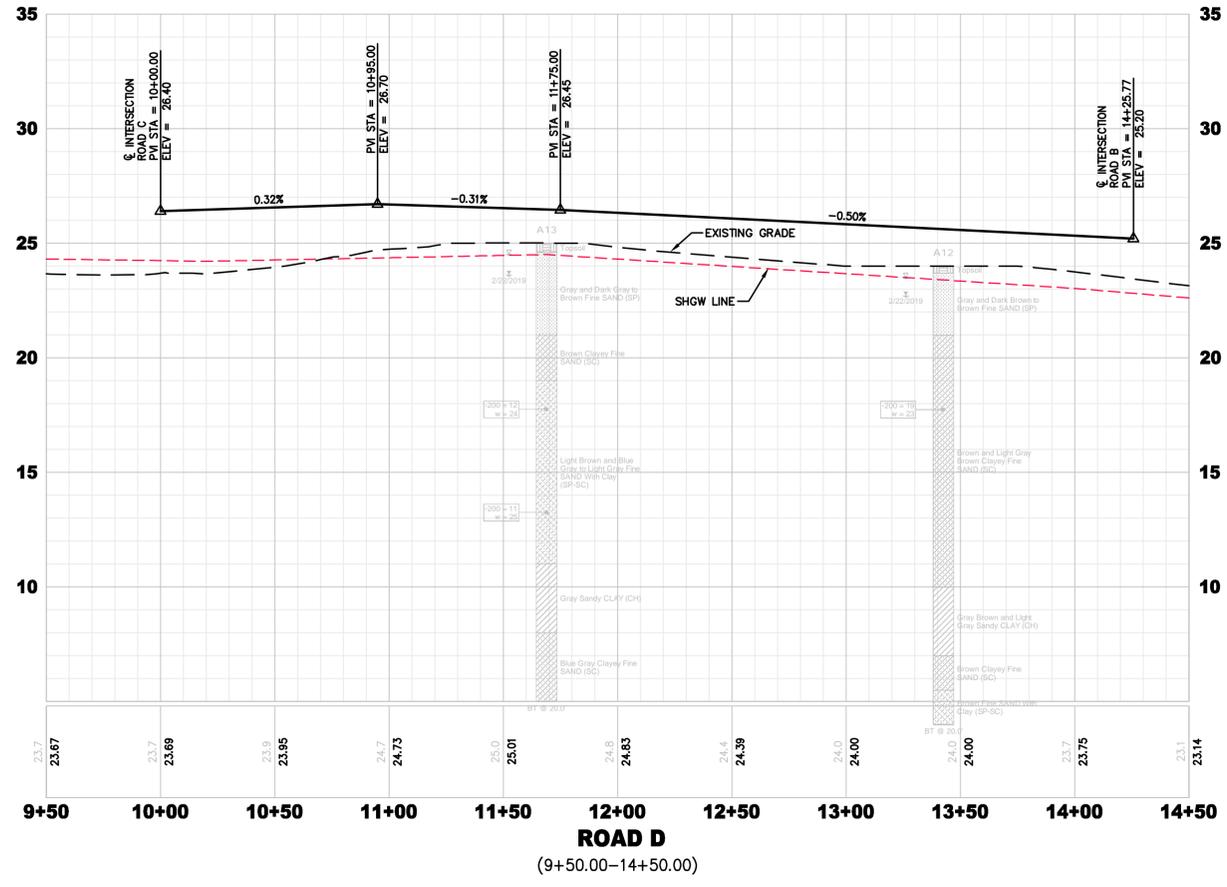
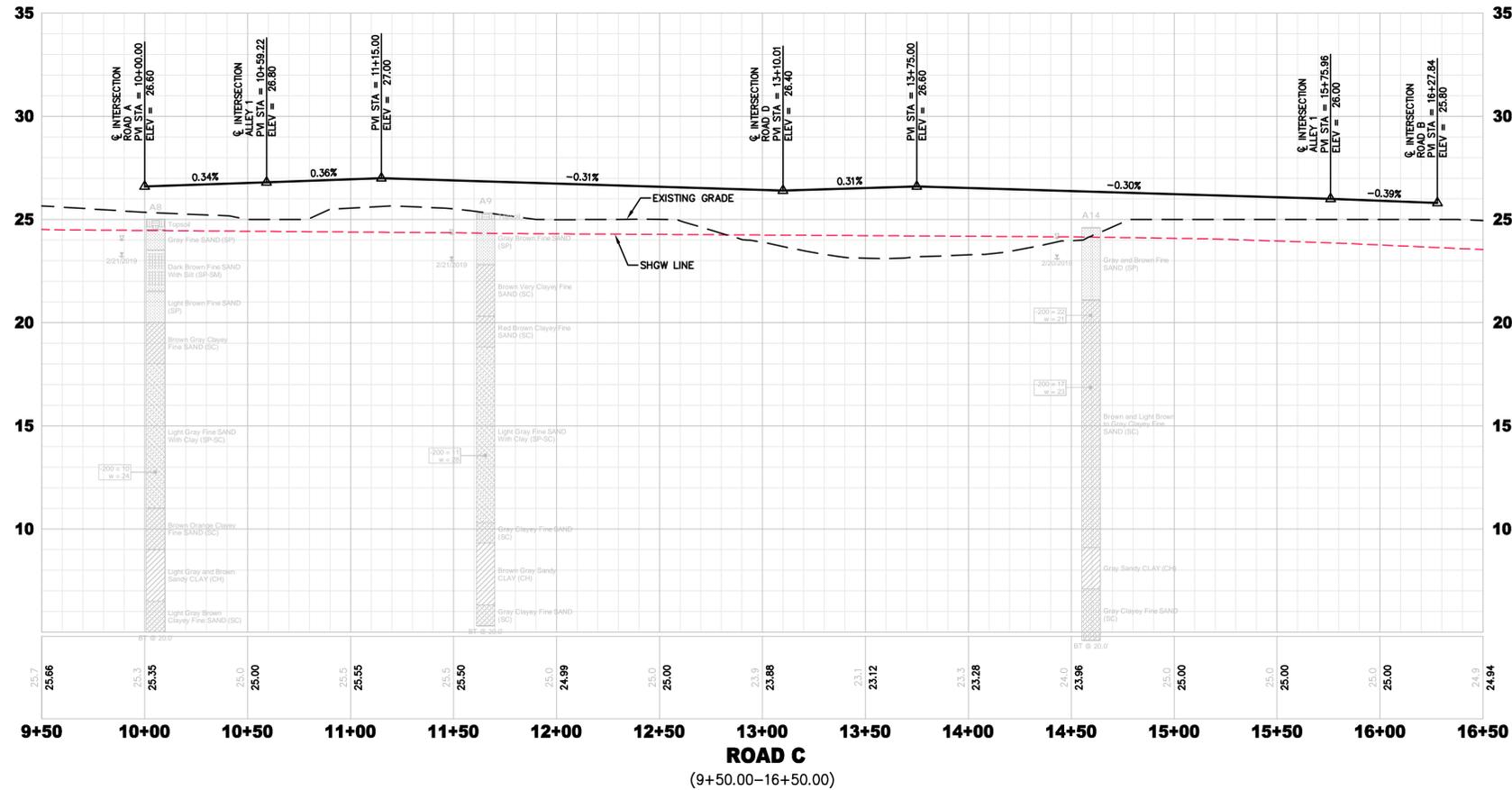
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**ROADWAY PROFILES**  
 WILDLIGHT PARCEL 5D - MASS GRADING  
 FOR  
 DAVID WEEKLEY HOMES, LLC

DRAWING NUMBER  
**4A**

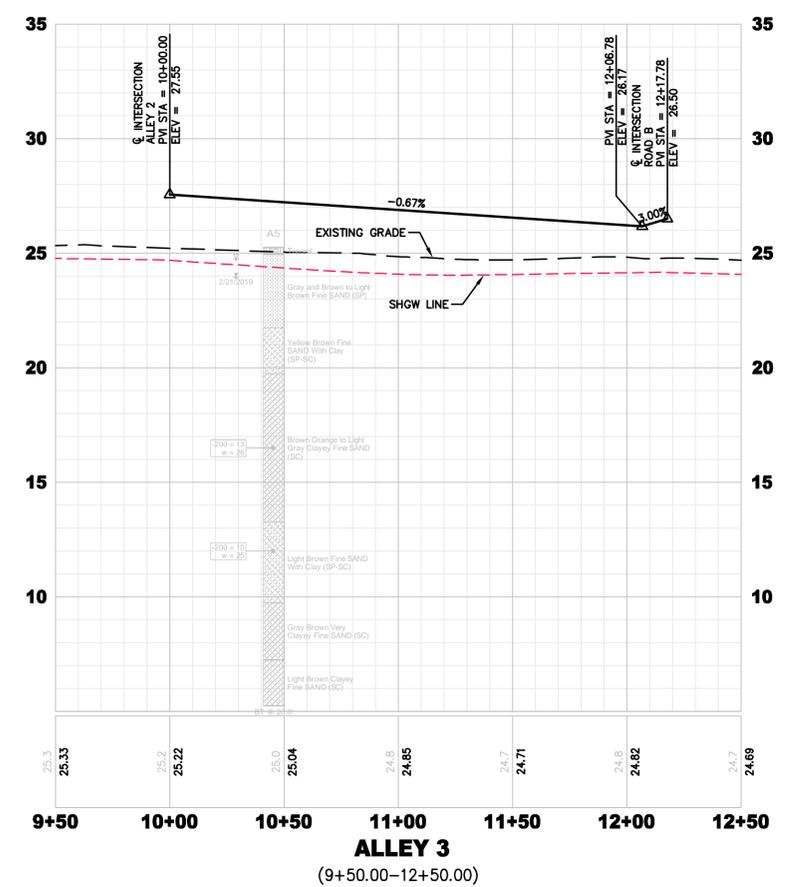
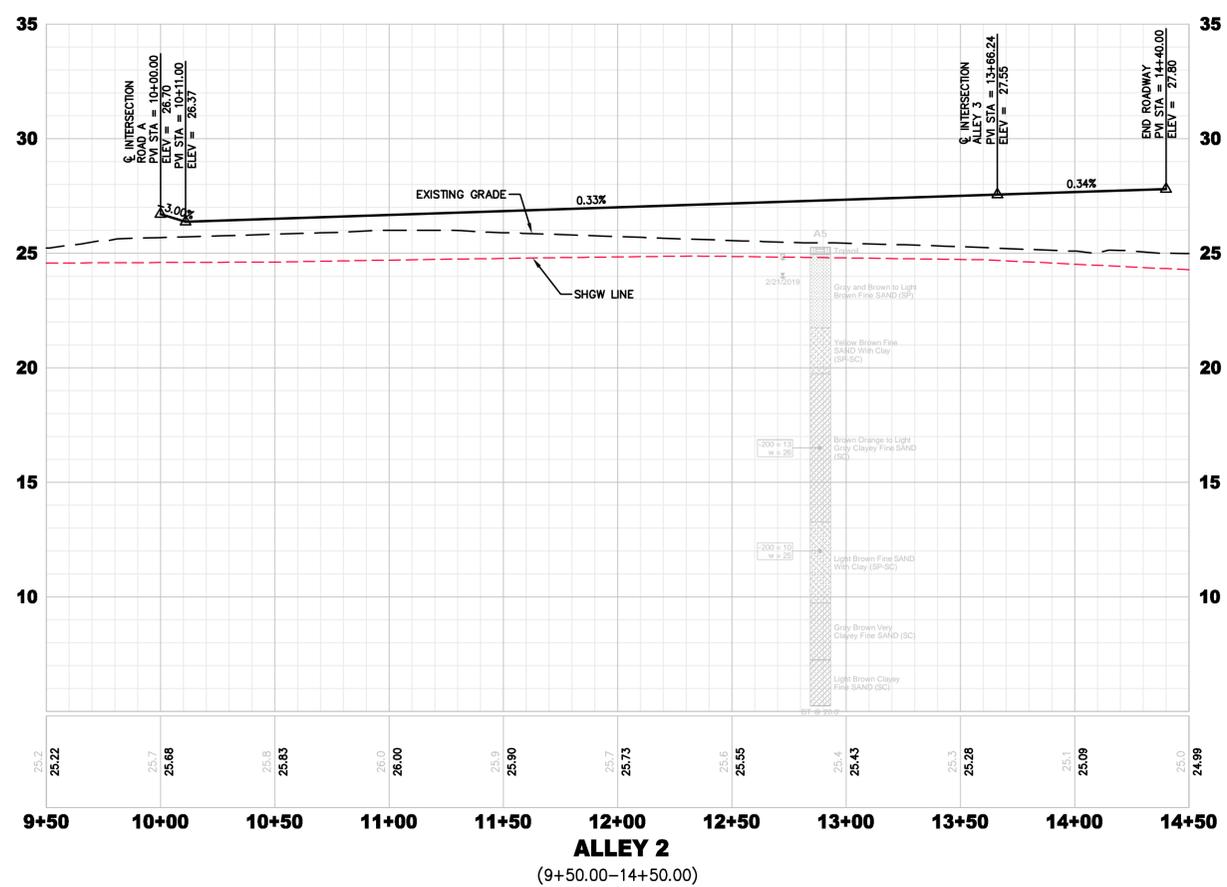
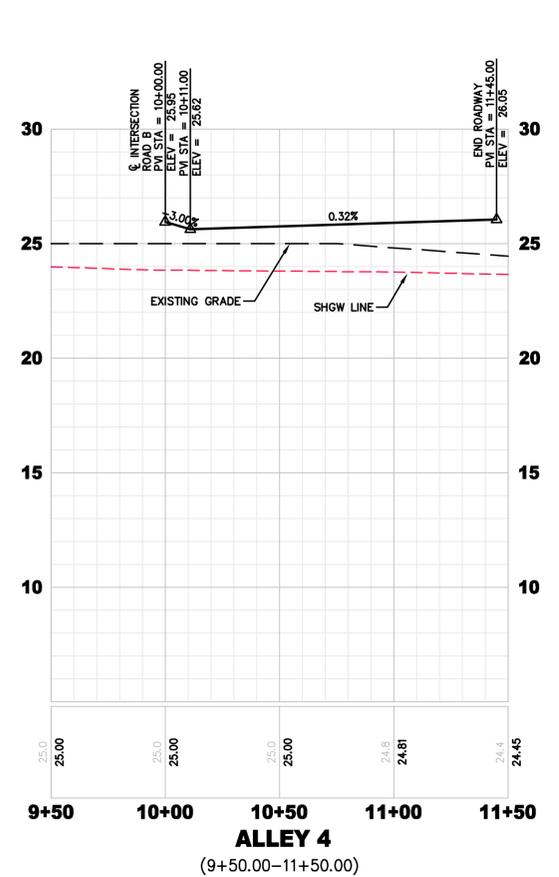
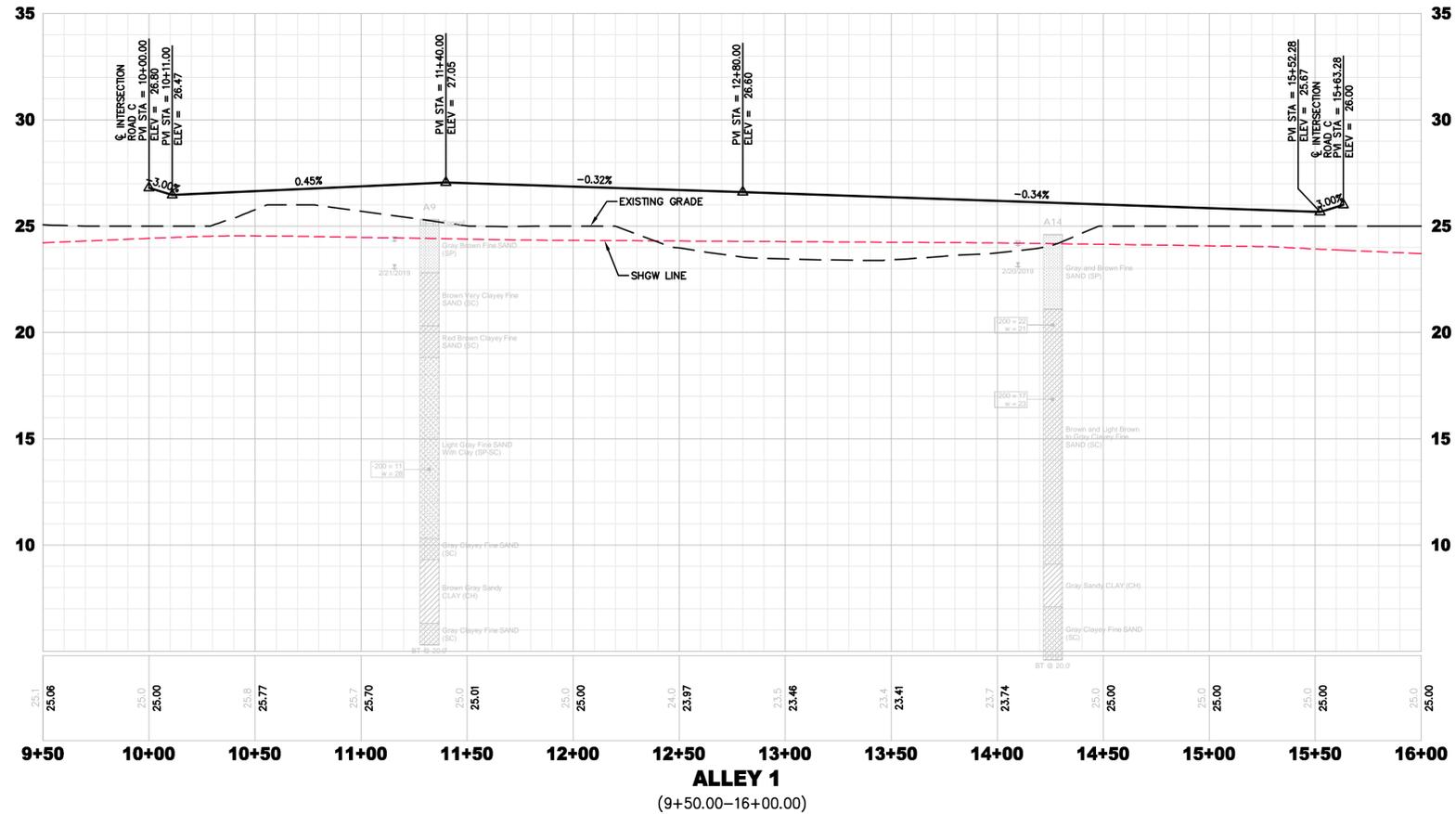
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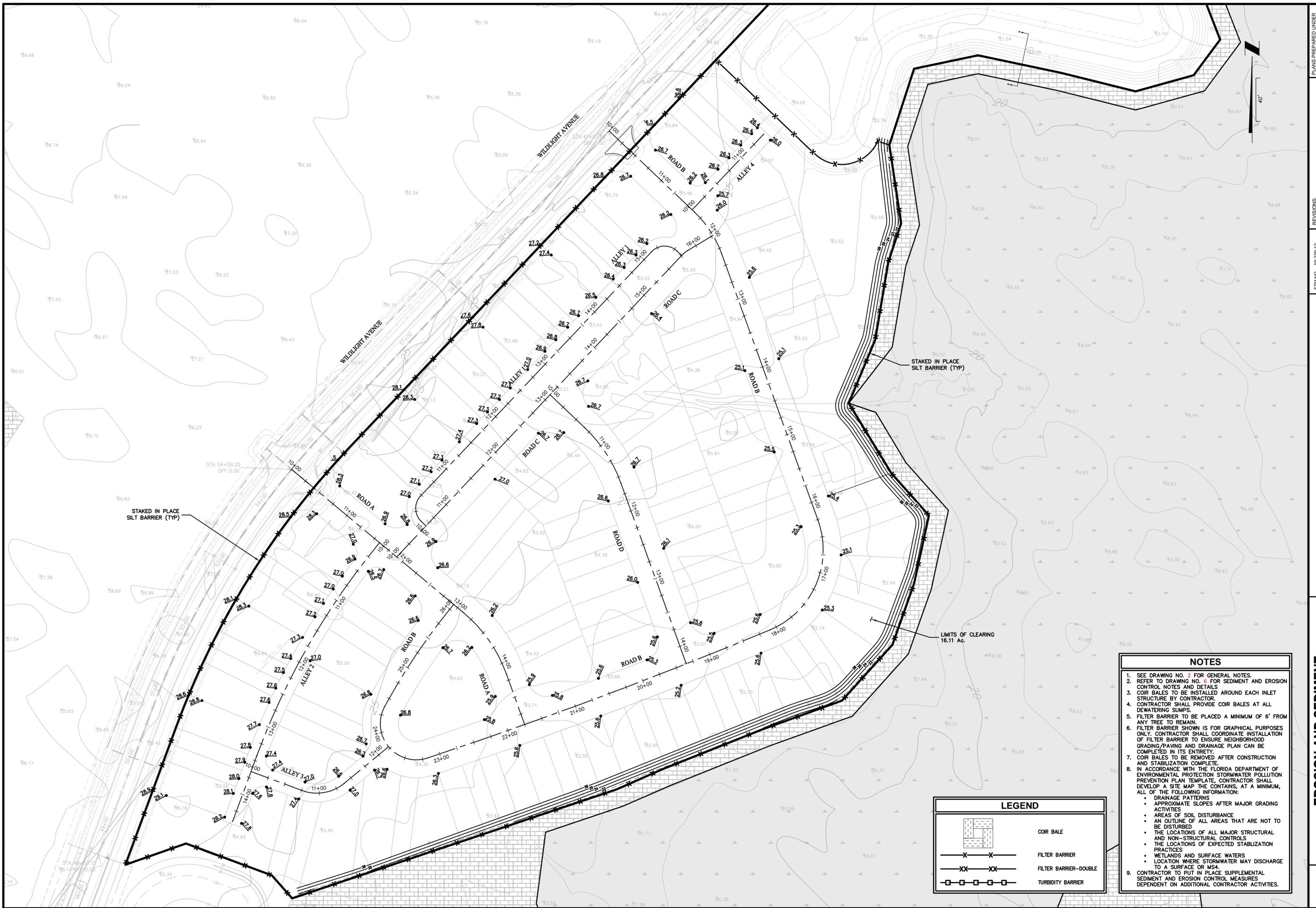
<p><b>ROADWAY PROFILES</b></p> <p><b>WILDLIGHT PARCEL 5D - MASS GRADING</b></p> <p><b>FOR</b></p> <p><b>DAVID WEEKLEY HOMES, LLC</b></p>	<p><b>ETM</b></p> <p>ENGLAND-THIMS &amp; MILLER</p>	<p>Trusted Advisors, Creating Community</p> <p>14775 Old St. Augustine Rd. Jacksonville, Florida 32259 (904) 642-8990 www.etmnc.com</p> <p>REG-00002584 LC-0000316</p>
DRAWING NUMBER	<b>4B</b>	PLANS PREPARED UNDER THE DIRECTION OF
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PLOTTED: June 4, 2024 - 2:46 PM, BY: Dino Simonelli	SCOTT A. WILD	P.E. NUMBER: 47030

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<p><b>ROADWAY PROFILES</b></p> <p><b>WILDLIGHT PARCEL 5D - MASS GRADING</b></p> <p><b>FOR</b></p> <p><b>DAVID WEEKLEY HOMES, LLC</b></p>	<p>ETH NO. 19-239-12 DRAWN BY: MBS, CLS DESIGNED BY: AMN CHECKED BY: BLW DATE: 7/21/2022</p>	<p>REVISIONS:</p> <p>*** *** ***</p>
<p>DRAWING NUMBER</p> <p style="font-size: 2em; font-weight: bold;">4C</p>	<p>REG-00002584 LC-0000316</p>	<p>PLOTTED: June 4, 2024 - 2:46 PM, BY: Dino Simonelli</p>

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LEGEND	
	COIR BALE
	FILTER BARRIER
	FILTER BARRIER-DOUBLE
	TURBIDITY BARRIER

- NOTES**
- SEE DRAWING NO. 2 FOR GENERAL NOTES.
  - REFER TO DRAWING NO. 6 FOR SEDIMENT AND EROSION CONTROL NOTES AND DETAILS.
  - COIR BALES TO BE INSTALLED AROUND EACH INLET STRUCTURE BY CONTRACTOR.
  - CONTRACTOR SHALL PROVIDE COIR BALES AT ALL DEWATERING SUMPS.
  - FILTER BARRIER TO BE PLACED A MINIMUM OF 6' FROM ANY TREE TO REMAIN.
  - FILTER BARRIER SHOWN IS FOR GRAPHICAL PURPOSES ONLY. CONTRACTOR SHALL COORDINATE INSTALLATION OF FILTER BARRIER TO ENSURE NEIGHBORHOOD GRADING/PAVING AND DRAINAGE PLAN CAN BE COMPLETED IN ITS ENTIRETY.
  - COIR BALES TO BE REMOVED AFTER CONSTRUCTION AND STABILIZATION COMPLETE.
  - IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION STORMWATER POLLUTION PREVENTION PLAN TEMPLATE, CONTRACTOR SHALL DEVELOP A SITE MAP THAT CONTAINS, AT A MINIMUM, ALL OF THE FOLLOWING INFORMATION:
    - DRAINAGE PATTERNS
    - APPROXIMATE SLOPES AFTER MAJOR GRADING ACTIVITIES
    - AREAS OF SOIL DISTURBANCE
    - AN OUTLINE OF ALL AREAS THAT ARE NOT TO BE DISTURBED
    - THE LOCATIONS OF ALL MAJOR STRUCTURAL AND NON-STRUCTURAL CONTROLS
    - THE LOCATIONS OF EXPECTED STABILIZATION PRACTICES
    - WETLANDS AND SURFACE WATERS
    - LOCATION WHERE STORMWATER MAY DISCHARGE TO A SURFACE OR MS4.
  - CONTRACTOR TO PUT IN PLACE SUPPLEMENTAL SEDIMENT AND EROSION CONTROL MEASURES DEPENDENT ON ADDITIONAL CONTRACTOR ACTIVITIES.

**EROSION AND SEDIMENT CONTROL PLAN**

**WILDLIGHT PARCEL 5D - MASS GRADING**

**FOR DAVID WEEKLEY HOMES, LLC**

**Trusted Advisors, Creating Community**

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PLANS PREPARED UNDER THE DIRECTION OF:	REVISIONS:
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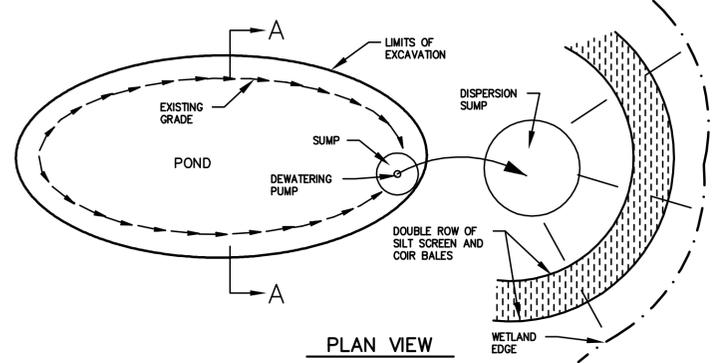
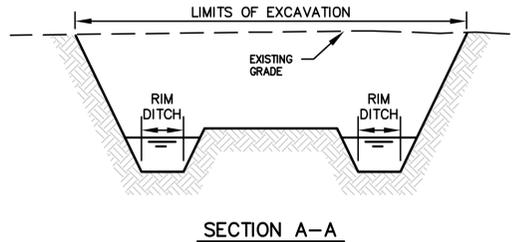
SCOTT A. WILD  
P.E. NUMBER: 47030  
PLOTTED: June 4, 2024 - 2:46 PM, BY: Dino Simonelli

**SEDIMENT AND EROSION CONTROL NOTES**

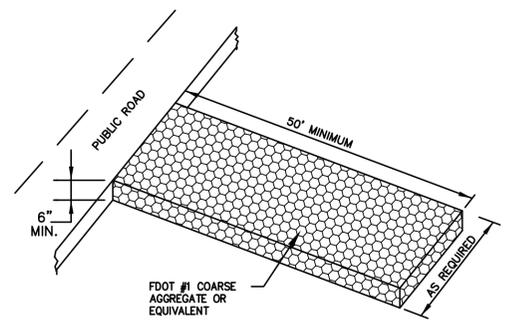
1. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING SILT FROM SITE IF NOT REUSABLE ON-SITE AND ASSURING PLAN ALIGNMENT AND GRADE IN ALL DITCHES AND SWALES AT COMPLETION OF CONSTRUCTION.
2. THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN STABILIZED.
3. ADDITIONAL PROTECTION - ON-SITE PROTECTION IN ADDITION TO THE ABOVE MUST BE PROVIDED THAT WILL NOT PERMIT SILT TO LEAVE THE PROJECT CONFINES DUE TO UNSEEN CONDITIONS OR ACCIDENTS.
4. CONTRACTOR SHALL INSURE THAT ALL DRAINAGE STRUCTURES, PIPES, ETC. ARE CLEANED OUT AND WORKING PROPERLY AT TIME OF ACCEPTANCE.
5. WIRE MESH SHALL BE LAID OVER THE DROP INLET SO THAT THE WIRE EXTENDS A MINIMUM OF 1 FOOT BEYOND EACH SIDE OF THE INLET STRUCTURE. HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH 1/2-INCH OPENINGS SHALL BE USED. IF MORE THAN ONE STRIP OF MESH IS REQUIRED, THE STRIPS SHALL BE OVERLAPPED.
6. FOOT NO. 1 COARSE AGGREGATE SHALL BE PLACED OVER THE WIRE MESH AS INDICATED ON SEDIMENT FILTER DETAIL (SEE DETAIL THIS SHEET). THE DEPTH OF STONE SHALL BE AT LEAST 12 INCHES OVER THE ENTIRE INLET OPENING. THE STONE SHALL EXTEND BEYOND THE INLET OPENING AT LEAST 18 INCHES ON ALL SIDES.
7. IF THE STONE FILTER BECOMES CLOGGED WITH SEDIMENT SO THAT IT NO LONGER ADEQUATELY PERFORMS ITS FUNCTION, THE STONES MUST BE PULLED AWAY FROM THE INLET, CLEANED AND REPLACED.
8. BALES SHALL BE EITHER WIRE-BOUND OR STRING-TIED WITH THE BINDINGS ORIENTED AROUND THE SIDES RATHER THAN OVER AND UNDER THE BALES.
9. BALES SHALL BE PLACED LENGTHWISE IN A SINGLE ROW SURROUNDING THE INLET, WITH THE ENDS OF ADJACENT BALES PRESSED TOGETHER.
10. THE FILTER BARRIER SHALL BE ENTRENCHED AND BACKFILLED. A TRENCH SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 4 INCHES. AFTER THE BALES ARE STAKED, THE EXCAVATED SOIL SHALL BE BACKFILLED AND COMPACTED AGAINST THE FILTER BARRIER.
11. EACH BALE SHALL BE SECURELY ANCHORED AND HELD IN PLACE BY AT LEAST TWO STAKES OR REBARS DRIVEN THROUGH THE BALE.
12. LOOSE COIR SHOULD BE WEDGED BETWEEN BALES TO PREVENT WATER FROM ENTERING BETWEEN BALES.
13. COIR BALE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
14. CLOSE ATTENTION SHALL BE GIVEN TO THE REPAIR OF DAMAGED BALES, END RUNS AND UNDERCUTTING BENEATH BALES.
15. NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BALES SHALL BE ACCOMPLISHED PROMPTLY.
16. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. IT MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
17. ANY SEDIMENT DEPOSITS REMAINING IN PLACE, AFTER THE COIR BALE OR FILTER BARRIERS, AND OR SILT FENCES ARE NO LONGER REQUIRED, SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.
18. SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
19. SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED IMMEDIATELY.
20. STRUCTURES SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS REQUIRED.
21. SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
22. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE BEST EROSION AND SEDIMENT CONTROL PRACTICES AS OUTLINED IN THE PLANS, SPECIFICATIONS AND ST. JOHNS RIVER WATER MANAGEMENT DISTRICT RULES AND REGULATIONS.
23. FOR ADDITIONAL INFORMATION ON SEDIMENT AND EROSION CONTROL REFER TO "THE FLORIDA DEVELOPMENT MANUAL - A GUIDE TO SOUND LAND AND WATER MANAGEMENT" FROM THE STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL REGULATION (F.D.E.P.) CHAPTER 6.
24. EROSION AND SEDIMENT CONTROL BARRIERS SHALL BE PLACED ADJACENT TO ALL WETLAND AREAS WHERE THERE IS POTENTIAL FOR DOWNSTREAM WATER QUALITY DEGRADATION. SEE DETAILS (THIS SHEET) FOR TYPICAL CONSTRUCTION.
25. SOD SHALL BE PLACED IN AREAS WHICH MAY REQUIRE IMMEDIATE EROSION PROTECTION TO ENSURE WATER QUALITY STANDARDS ARE MAINTAINED.
26. ANY DISCHARGE FROM DEWATERING ACTIVITY SHALL BE FILTERED AND CONVEYED TO THE OUTFALL IN A MANNER WHICH PREVENTS EROSION AND TRANSPORTATION OF SUSPENDED SOLIDS TO THE RECEIVING OUTFALL.
27. DEWATERING PUMPS SHALL NOT EXCEED THE CAPACITY OF THAT WHICH REQUIRES A CONSUMPTIVE USE PERMIT FROM THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT.
28. ALL DISTURBED AREAS SHALL BE GRASSSED, FERTILIZED AND MULCHED UNTIL A PERMANENT VEGETATIVE COVER IS ESTABLISHED. CONTRACTOR SHALL USE ADDITIONAL MEASURES TO STABILIZE DISTURBED AREAS THROUGH COMPACTION, SILT SCREENS, COIR BALES, AND GRASSING. ALL FILL SLOPES 3:1 OR STEEPER TO RECEIVE STAKED SOLID SOD.
29. ALL DEWATERING, EROSION, AND SEDIMENT CONTROL SHALL REMAIN IN PLACE UNTIL AFTER COMPLETION OF CONSTRUCTION, AND REMOVED ONLY WHEN AREAS HAVE BEEN STABILIZED.
30. THIS PLAN INDICATES THE MINIMUM EROSION AND SEDIMENT MEASURES REQUIRED FOR THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL APPLICABLE RULES, REGULATIONS AND WATER QUALITY GUIDELINES AND MAY NEED TO INSTALL ADDITIONAL CONTROLS.
31. THE CONTRACTOR SHALL BE REQUIRED TO RESPOND TO ALL WATER MANAGEMENT DISTRICT INQUIRIES, RELATIVE TO COMPLIANCE OF SURVIVED FOR EROSION AND SEDIMENTATION CONTROL. THE COST OF THIS COMPLIANCE SHALL BE PART OF THE CONTRACT.
32. EROSION AND SEDIMENT CONTROL BARRIERS SHALL BE PLACED ADJACENT TO ALL WETLAND AREAS AND PRESERVATION EASEMENTS WHERE THERE IS POTENTIAL FOR DOWNSTREAM WATER QUALITY DEGRADATION.
33. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING A PERMANENT STAND OF SOD AND/OR GRASS PER THE CONTRACT DOCUMENTS AND MEETING THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT, NASSAU COUNTY AND NPDES FINAL STABILIZATION REQUIREMENTS.
34. THESE PLANS INCLUDING THE POLLUTION PREVENTION PLAN INDICATE THE MINIMUM EROSION & SEDIMENT CONTROL MEASURES REQUIRED FOR THIS PROJECT. FOR ADDITIONAL INFORMATION ON SEDIMENT AND EROSION CONTROL REFER TO "THE FLORIDA DEVELOPMENT MANUAL - A GUIDE TO

SOUND LAND AND WATER MANAGEMENT" FROM THE STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (F.D.E.P.) CHAPTER 6. CONTRACTOR SHALL PROVIDE EROSION PROTECTION AND TURBIDITY CONTROL AS REQUIRED TO INSURE CONFORMANCE TO STATE AND FEDERAL WATER QUALITY STANDARDS AND MAY NEED TO INSTALL ADDITIONAL CONTROLS TO CONFORM TO AGENCIES REQUIREMENTS. IF A WATER QUALITY VIOLATION OCCURS, THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR ALL DAMAGE AND ALL COSTS WHICH MAY RESULT INCLUDING LEGAL FEES, CONSULTANT FEES, CONSTRUCTION COSTS, AND FINES.

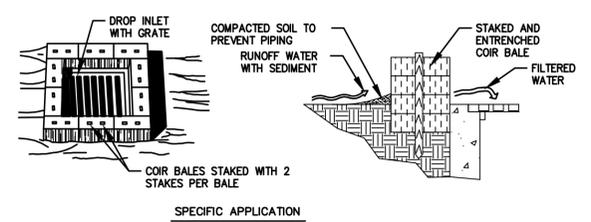
35. 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR WILL SUBMIT A "NOTICE OF INTENT" TO THE EPA IN ACCORDANCE WITH NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM RULES AND REGULATIONS. (FOR ANY CONSTRUCTION NOT COVERED BY THE OWNER'S "NOTICE OF INTENT" PERMIT)



**TEMPORARY DEWATERING DETAIL**  
N.T.S.

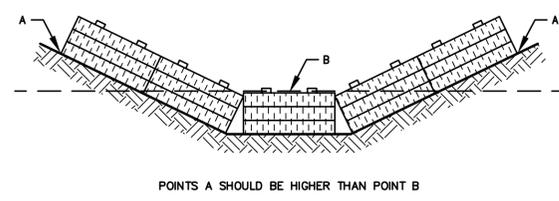


**STABILIZED CONSTRUCTION ENTRANCE**  
N.T.S.

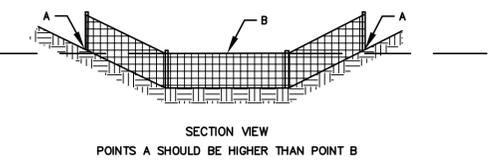
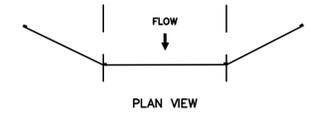


SPECIFIC APPLICATION  
THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (SLOPES NO GREATER THAN 5 PERCENT) WHERE SHEET OR OVERLAND FLOWS (NOT EXCEEDING 0.5 cfs) ARE TYPICAL. THE METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS, SUCH AS IN STREET OR HIGHWAY MEDIANS.

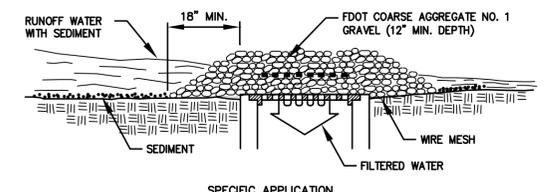
**COIR BALE DROP INLET SEDIMENT FILTER**  
N.T.S.



**PROPER PLACEMENT OF COIR BALE IN A DRAINAGE WAY**  
N.T.S.

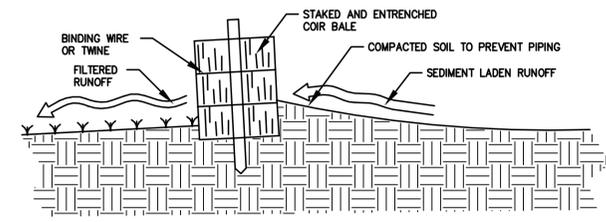


**PROPER PLACEMENT OF A FILTER BARRIER IN DRAINAGE WAY**  
N.T.S.

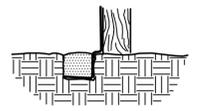
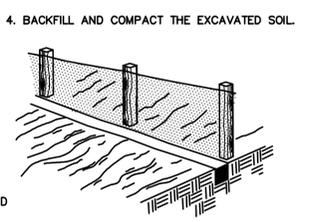
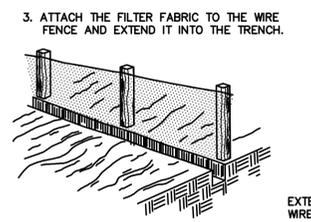
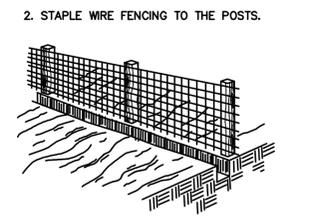
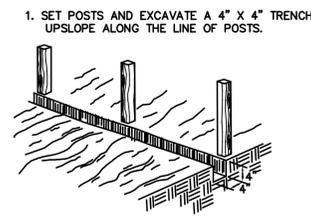


THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE HEAVY CONCENTRATED FLOWS ARE EXPECTED, BUT NOT WHERE PONDING AROUND THE STRUCTURE MIGHT CAUSE EXCESSIVE INCONVENIENCE OR DAMAGE TO ADJACENT STRUCTURES AND UNPROTECTED AREAS.

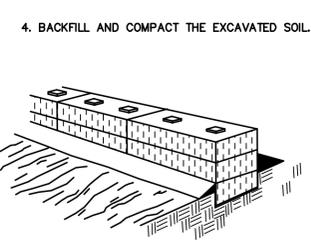
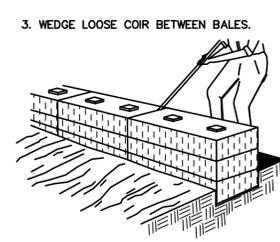
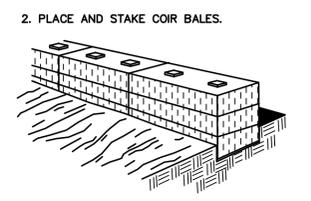
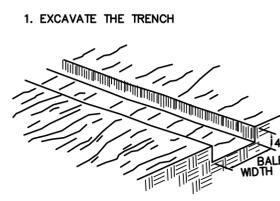
**GRAVEL AND WIRE MESH DROP INLET SEDIMENT FILTER**  
N.T.S.



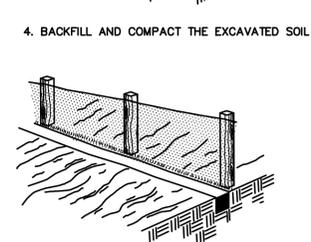
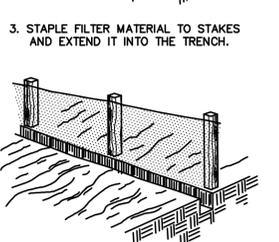
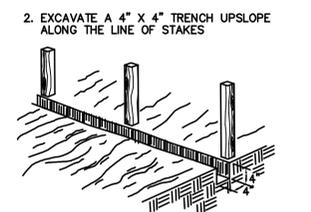
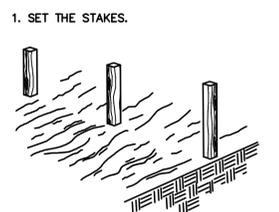
**CROSS-SECTION OF A PROPERLY INSTALLED COIR BALE**  
N.T.S.



**CONSTRUCTION OF SILT FENCE**  
N.T.S.



**CONSTRUCTION OF A COIR BALE BARRIER**  
N.T.S.



**CONSTRUCTION OF A FILTER BARRIER**  
N.T.S.

PLANS PREPARED UNDER THE DIRECTION OF: SCOTT A. WILD, P.E. NUMBER: 47030

REVISIONS:

ETH NO. 19-239-12	DRAWN BY: MBG, CLG	CHECKED BY: BLW	DATE: 7/21/2022
14775 Old St. Augustine Rd., Jacksonville, Florida 32259	(904) 642-8990	www.etrinc.com	REG-00002584 LC-0000316

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**ETM** ENGLAND-THIMS & MILLER

EROSION AND SEDIMENT CONTROL DETAILS FOR WILDLIGHT PARCEL 5D - MASS GRADING DAVID WEEKLEY HOMES, LLC

DRAWING NUMBER **6**

T:\2023\23-216\_LandDev\Design\Plots\23-216-ESC-DETS.dwg

PLOTTED: June 4, 2024 - 2:46 PM, BY: Dino Simoneilli

OWNER'S REQUIREMENTS

CONTRACTOR'S REQUIREMENTS

OWNER'S REQUIREMENTS form containing sections for Site Description, General, Controls, Pollution Prevention Plan Certification, and other project details.

CONTRACTOR'S REQUIREMENTS form containing sections for Inlet Protection, Temporary Seeding, Erosion Control, Structural Practices, and other construction specifications.

CONTRACTOR'S REQUIREMENTS form containing sections for Inventory for Pollution Prevention Plan, Spill Prevention, Hazardous Products, and other environmental management protocols.

CONTRACTOR'S REQUIREMENTS form containing sections for Maintenance/Inspection Procedures, Contractor's Certification, and a table for Pollution Prevention Plan Certification.

Vertical sidebar containing project information, revision history, and logos for EMM and David Weekley Homes, LLC.

**WILDLIGHT PARCEL 5D - MASS GRADING  
STORM WATER POLLUTION PREVENTION PLAN  
INSPECTION AND MAINTENANCE REPORT FORM**

THIS IS THE CONTRACTOR'S CERTIFICATION REQUIRED BY THE EPA'S NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES), STORM WATER POLLUTION PREVENTION PLAN FOR CONSTRUCTION SITES OVER 1/4 ACRES. THIS CERTIFICATION MUST BE COMPLETED WEEKLY AND AFTER EVERY RAINFALL EVENT OVER 0.50 INCHES

INSPECTOR: \_\_\_\_\_  
 INSPECTOR'S QUALIFICATIONS: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 DAYS SINCE LAST RAINFALL: \_\_\_\_\_ AMOUNT OF LAST RAINFALL: \_\_\_\_\_ INCHES

STABILIZATION MEASURES

INSPECTION AREA (DESCRIPTION OF LOCATION)	DATE SINCE LAST DISTURBED	DATE OF NEXT DISTURBANCE	STABILIZED ? (YES/NO)	STABILIZED WITH	CONDITION

STABILIZATION REQUIRED: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

TO BE PERFORMED BY: \_\_\_\_\_ ON OR BEFORE \_\_\_\_\_

**WILDLIGHT PARCEL 5D - MASS GRADING  
STORM WATER POLLUTION PREVENTION PLAN  
INSPECTION AND MAINTENANCE REPORT FORM**

DATE: \_\_\_\_\_ STRUCTURAL CONTROLS

EARTH DIKES/SWALES

DIKE OR SWALE	FROM	TO	IS DIKE/SWALE STABILIZED ?	IS THERE EVIDENCE OF WASHOUT OR OVERTOPPING

MAINTENANCE REQUIRED FOR EARTH DIKE/SWALE: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

TO BE PERFORMED BY: \_\_\_\_\_ ON OR BEFORE \_\_\_\_\_

CATCH BASIN/CURB INLET/OUTFALL TURBIDITY CONTROLS

STRUCTURE/ OUTFALL	ARE TURBIDITY CONTROLS IN PLACE	ANY EVIDENCE OF CLOGGING/WASHOUT OR BYPASSING ?	ARE TURBIDITY CONTROLS IN NEED OF REPLACING	DOES SILT NEED TO BE REMOVED FROM CONTROL

MAINTENANCE REQUIRED FOR CATCH BASIN/CURB INLETS/OUTFALLS TURBIDITY CONTROLS: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

TO BE PERFORMED BY: \_\_\_\_\_ ON OR BEFORE \_\_\_\_\_

**WILDLIGHT PARCEL 5D - MASS GRADING**

**STORM WATER POLLUTION PREVENTION PLAN  
INSPECTION AND MAINTENANCE REPORT FORM**

SEDIMENT BASIN

DEPTH OF SEDIMENT IN BASIN	DEPTH OF SEDIMENT SIDE BASIN	ANY EVIDENCE OF OVERTOPPING OF THE EMBANKMENT ?	CONDITION OF OUTFALL FROM SEDIMENT BASIN

MAINTENANCE REQUIRED FOR SEDIMENT BASIN: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

TO BE PERFORMED BY: \_\_\_\_\_ ON OR BEFORE \_\_\_\_\_

OTHER CONTROLS

STABILIZED CONSTRUCTION ENTRANCE

DOES MUCH SEDIMENT GET TRACKED ON TO ROAD ?	IS THE GRAVEL CLEAN OR IS IT FILLED WITH SEDIMENT?	DOES ALL TRAFFIC USE THE STABILIZED ENTRANCE TO LEAVE THE SITE ?	IS THE CULVERT BENEATH THE ENTRANCE WORKING? (IF APPLICABLE)

MAINTENANCE REQUIRED FOR STABILIZED CONSTRUCTION ENTRANCE: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

TO BE PERFORMED BY: \_\_\_\_\_ ON OR BEFORE \_\_\_\_\_

**WILDLIGHT PARCEL 5D - MASS GRADING**

**STORM WATER POLLUTION PREVENTION PLAN  
INSPECTION AND MAINTENANCE REPORT FORM**

CHANGES REQUIRED TO THE POLLUTION PREVENTION PLAN: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

REASONS FOR CHANGES: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

SIGNATURE: \_\_\_\_\_  
 DATE: \_\_\_\_\_

**STORMWATER POLLUTION PREVENTION  
PLAN - CONTRACTORS CERTIFICATION**

**WILDLIGHT PARCEL 5D - MASS GRADING  
FOR  
DAVID WEEKLEY HOMES, LLC**



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Community**

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Jacksonville, Florida 32259  
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REG-000026584 LC-0000316

ETH NO.	19-239-12	REVISIONS:
DRAWN BY:	MBS, CLS	
DESIGNED BY:	AMN	
CHECKED BY:	BLW	
DATE:	7/21/2022	

PLANS PREPARED UNDER THE DIRECTION OF:

SCOTT A. WILD  
P.E. NUMBER: 47030