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 13901 Sutton Park Drive South, Suite 200  
 Jacksonville, FL 32224-0229  
 (904) 739-3655

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(904) 268-1766

**GEOTECHNICAL ENGINEER:**  
Universal Engineering Sciences, Inc.  
Stephen R. Weaver, PE  
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Mike Manzie, PLS  
117 South Ninth Street  
Fernandina Beach, FL 32034  
(904) 491-5700



Prepared By:

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www.prosserinc.com

Florida Certificate of Authorization Number: 00004050

G-0.00	COVER SHEET
G-0.01	SIGNATURE SHEET
G-0.02	GENERAL NOTES
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C-1.02	POST-DEVELOPMENT PLAN
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C-3.01	SITE LAYOUT PLAN
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L-2.00	HARDSCAPE SCHEDULE, NOTES & OVERALL PLAN
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ISSUED FOR REVIEW: 2024-07-12

ENGINEER OF RECORD:

Name: Neal E. Brockmeier, PE      Number: 54561

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

JEA AVAILABILITY No: 2023-1757

LIBERTY COVE  
NASSAU, LLC

LIBERTY COVE AMENITY CENTER

Prosser No. 120093.05

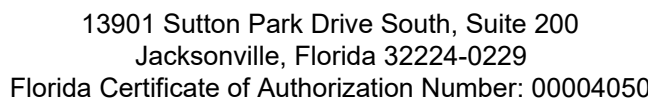
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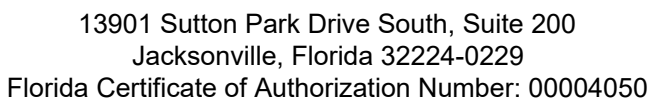
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2022-05-16 prsr plan-AnsiD-con



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L-3.01 - L-3.04	HARDSCAPE DETAILS

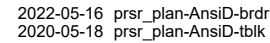
LIBERTY COVE  
AMENITY CENTER

S H E E T









— JD — — JD — —

— JD — — JD — JURISDICTIONAL  
WETLAND LINE

WETLAND

## UPLAND BUFFER

### ASPHALT PAVEMENT

## CONCRETE PAVEMENT

REFER TO HARDSCAPE  
PLAN

NOTES:

1. ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY, THIS PROJECT IS LOCATED IN FLOOD ZONES 'X', 'AE' AS DETERMINED BY SCALE FROM FEDERAL INSURANCE RATE MAP (FIRM), PANELS 12031C0035J AND 12031C0055J, DATED 2008/11/02.
2. FINAL SIGNAGE AND STREET LIGHTING DESIGN/POLE LOCATIONS ARE SUBJECT TO FPL ELECTRICAL DESIGN AND FINAL ENGINEERING. LIGHTING AND SIGNAGE SHALL COMPLY WITH THE WILLIAM BURGESS CONTEXT AND CONNECTIVITY BLUEPRINT (WBCCB), SECTION 4.14, APPENDIX I.
3. STORMWATER MANAGEMENT PRACTICES MUST UTILIZE LOW IMPACT DEVELOPMENT (LID) PRACTICES WHICH INCLUDE THOSE IDENTIFIED IN WILLIAMS BURGESS CCB TABLE 4.43.
4. STORMWATER MANAGEMENT FACILITIES SWMF-02, SWMF-03, SWMF-04, AND SWMF-05 ARE INTERCONNECTED PONDS TO PROVIDE A SHARED DRAINAGE SYSTEM.
5. ALL COMMON AREA SIDEWALKS SHALL HAVE A MINIMUM WIDTH OF 6'.
6. BUILDINGS WILL COMPLY WITH SECTIONS 4.6 AND 4.7 GENERAL ARCHITECTURAL STANDARDS FROM THE WILLIAM BURGESS DISTRICT CONTEXT AND CONNECTIVITY BLUEPRINT (WBCCB), BUILDING ELEVATIONS AND/OR ARCHITECTURAL DRAWINGS SHALL BE PROVIDED AS PART OF THE BUILDING PERMIT APPLICATION.
7. MECHANICAL EQUIPMENT SHALL BE AT THE SIDE OR REAR OF THE BUILDING AND SCREENED FROM ALL RIGHTS-OF-WAYS, OR PLACED ON A FLAT ROOF, SCREENED BY A PARAPET OR SIMILAR ARCHITECTURAL FEATURE TO SHIELD IT FROM PUBLIC VIEWS, WILLIAM BURGESS DISTRICT CONTEXT AND CONNECTIVITY BLUEPRINT, WBCCB 4.5.2.4(B).

PROJECT BOUNDARY GEOMETRY			
LINE/CURVE	BEARING/CHORD	LENGTH	RADIUS
C1	N86°57'36"W 9.29'	9.29'	335.00'
C2	N85°18'06"W 50.93'	50.94'	595.00'
C3	N33°28'07"W 151.81'	172.37'	100.00'
C4	N05°16'38"E 353.65'	356.62'	796.92'
C5	N03°53'19"W 57.06'	57.09'	452.32'
L1	N67° 23' 46.87"E	201.13'	-
L2	S20° 51' 38.90"E	600.70'	-
L3	S08° 18' 22.49"W	145.85'	-
L4	N87° 45' 15.65"W	214.95'	-
L5	N82° 50' 55.92"W	71.00'	-
L6	N17° 00' 06.77"E	74.30'	-

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Florida Certificate of Authorization Number: 00004050

LIBERTY COVE  
NASSAU, LLC

LIBERTY COVE  
AMENITY CENTER

DATE : 2024-07-12  
PROJECT NO. : 120093.05  
DESIGNED BY : NEB  
DRAWN BY : KMDW  
SCALE : AS NOTED

[illegible]

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SHEET TITLE

## OVERALL SITE PLAN

C-1.01

FL Lic. No. \_\_\_\_\_  
DATE: \_\_\_\_\_

S H E E T

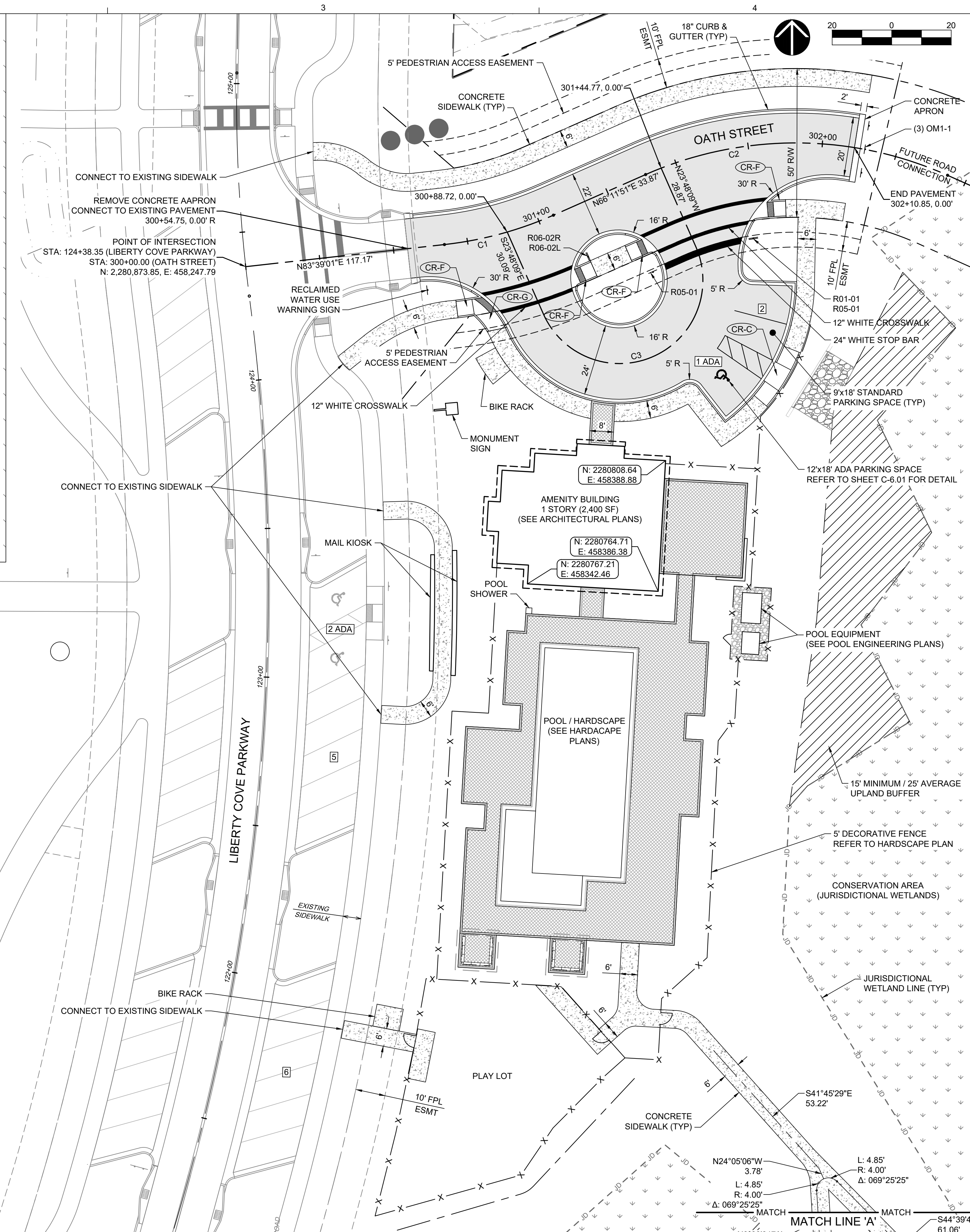
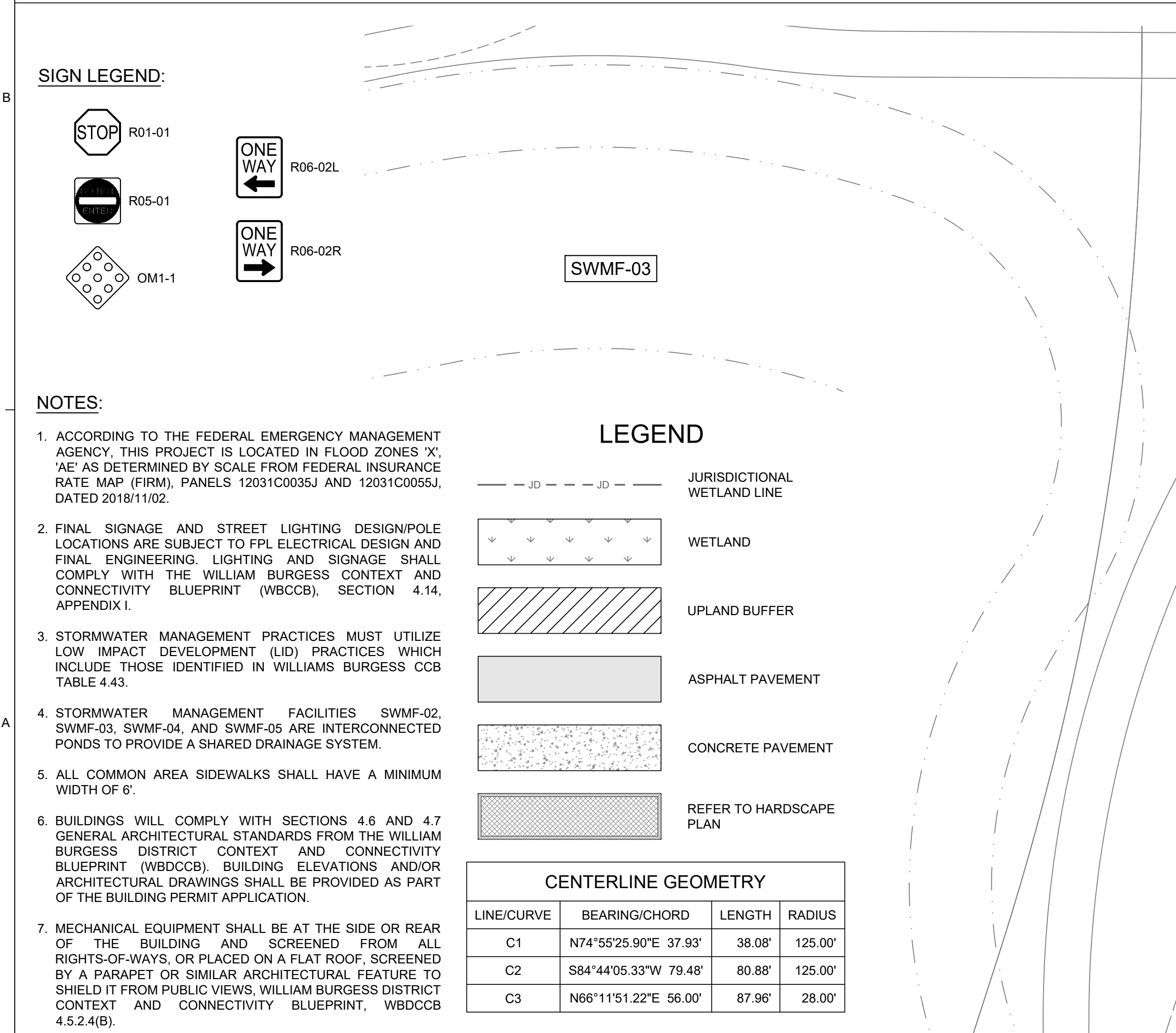
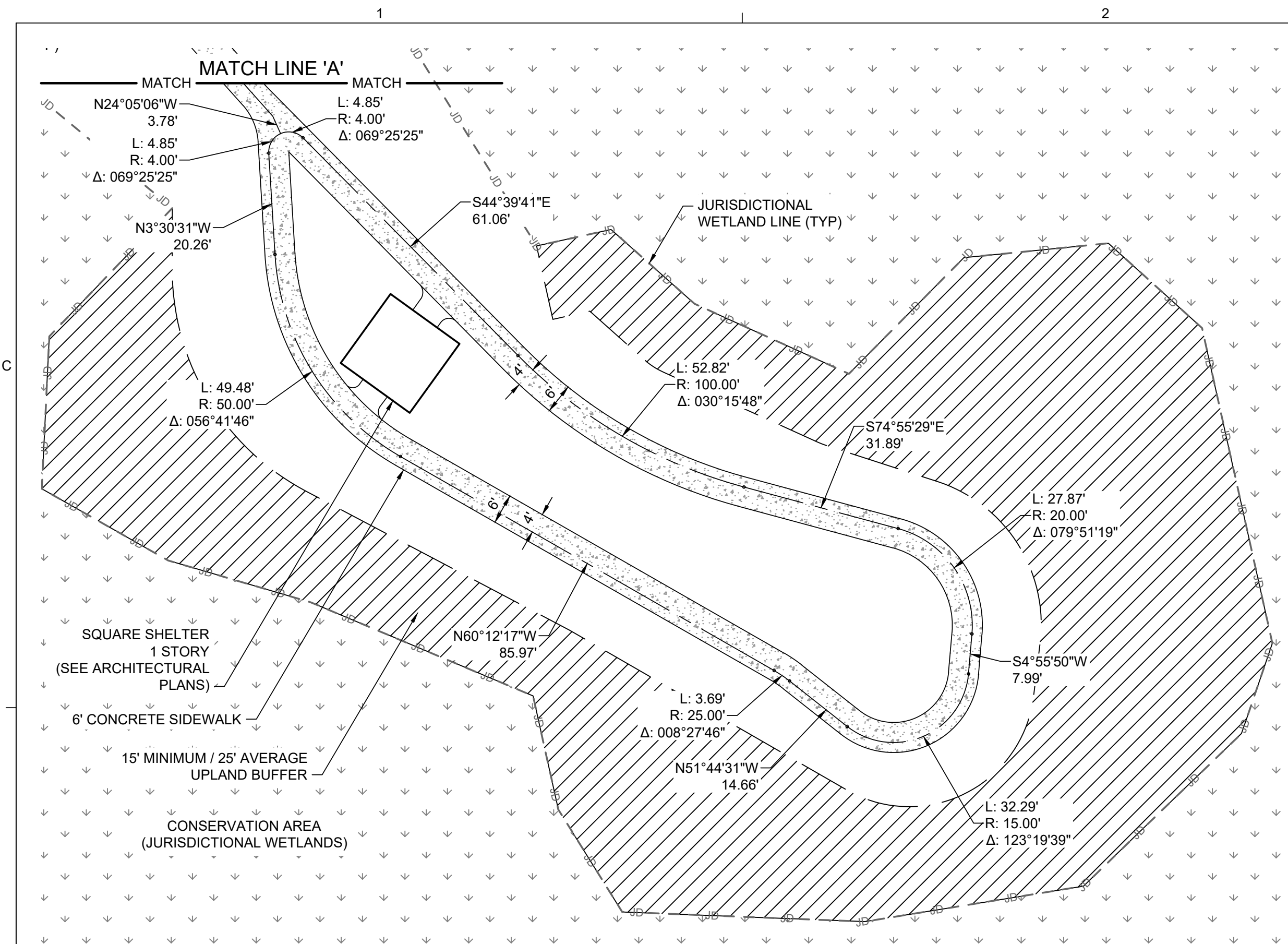




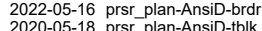






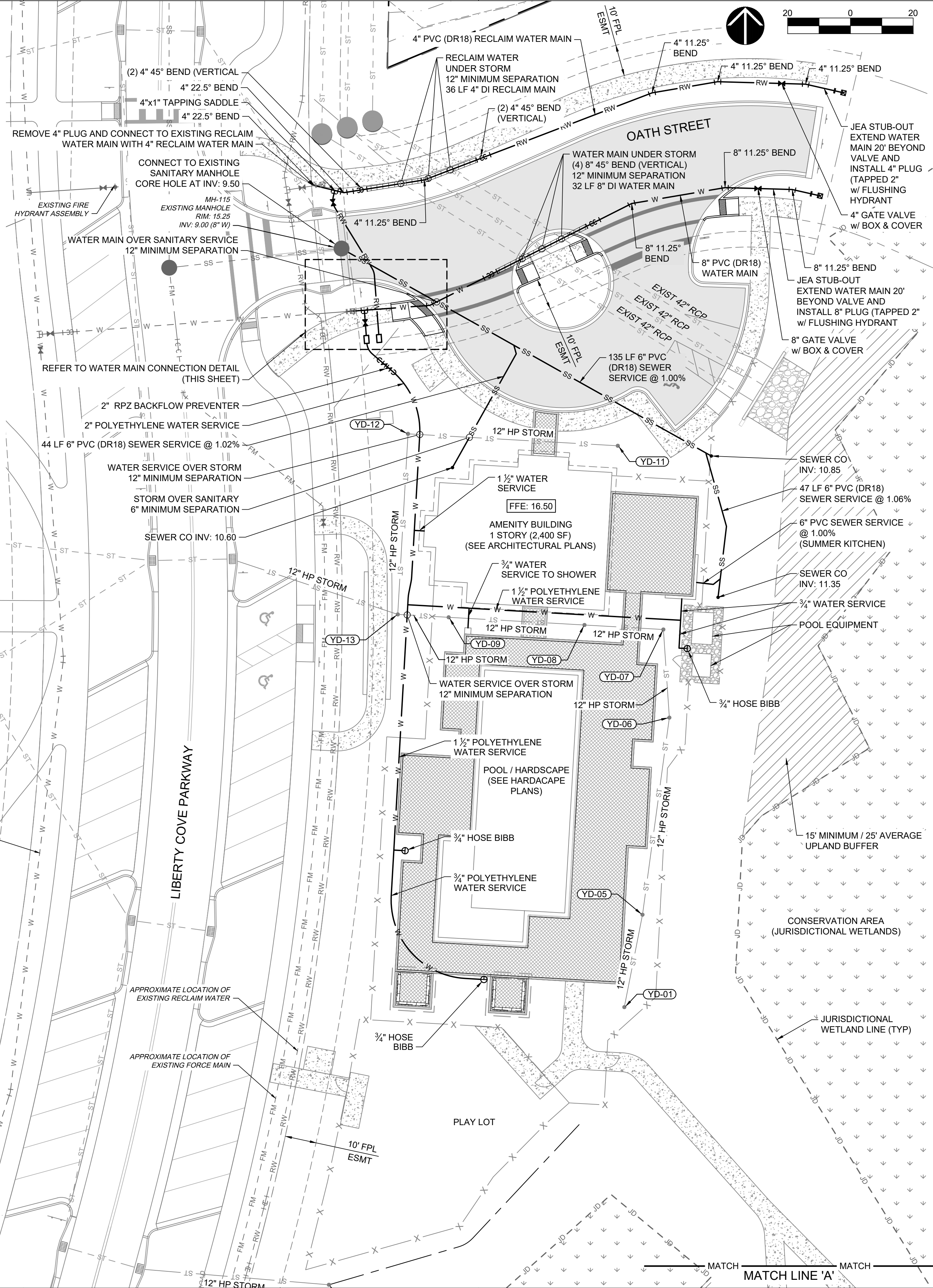
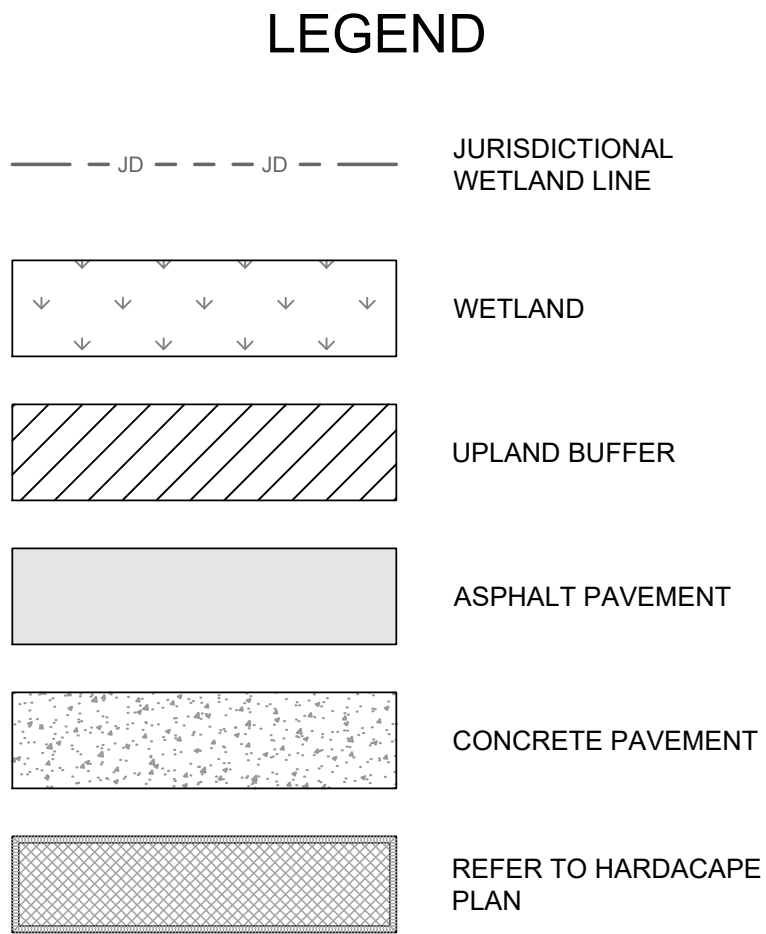
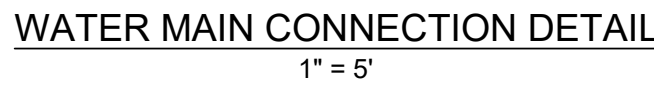
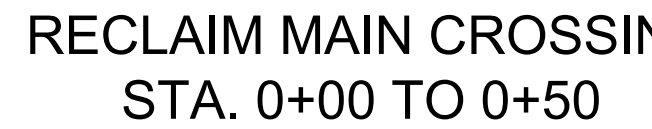
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1. ALL WATER, RECLAIMED WATER, AND SANITARY WASTEWATER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST JEA WATER AND WASTEWATER STANDARDS MANUAL, ALL APPLICABLE LOCAL AND STATE REGULATORY RULES & REGULATIONS AND OTHER APPLICABLE JEA RULES.
2. ALL WATER, RECLAIMED WATER, AND WASTEWATER CONSTRUCTION SHALL BE PROVIDED BY A CONTRACTOR QUALIFIED, AS REQUIRED UNDER THE CURRENT FLORIDA STATUTE, OR BY AN UNDERGROUND UTILITY CONTRACTOR, LICENSED UNDER THE PROVISIONS OF CHAPTER 489 FS.
3. THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING CITY OR COUNTY RIGHT-OF-WAY PERMITS FOR WORK IN THE CITY R/W, COUNTY R/W OR A FDOT PERMIT FOR WORK IN THE FDOT R/W.
4. THE APPLICANT SHALL CONTACT THE JEA, AND SCHEDULE A PRE-CONSTRUCTION MEETING, TO BE HELD PRIOR TO INITIATING THE JEA WATER AND WASTEWATER UTILITY WORK, INCLUDING ALL UTILITY MAIN TAPS BY THE CONTRACTOR.
5. JEA WATER AND WASTEWATER TAP FEES, JEA WATER AND SEWER CAPACITY FEES, AND JEA METER FEES SHALL BE PAID PRIOR TO THE WATER METER INSTALLATION. WATER METERS WILL NOT BE INSTALLED PRIOR TO THE ISSUANCE OF REQUIRED ACCEPTANCE (TRANSFER OF OWNERSHIP) DOCUMENTS, WHICH MAY INCLUDE THE ISSUANCE OF A REGULATORY CLEARANCE LETTER (COC) FOR THE WATER AND WASTEWATER IMPROVEMENTS COMPLETION, AND APPROVAL OF FINAL INSPECTION AND APPROVED AS-BUILT DRAWINGS.
6. FINAL CONNECTION TO THE JEA SYSTEM MAY BE CONTINGENT UPON THE CONSTRUCTION, DEDICATION, AND FINAL ACCEPTANCE (TRANSFER OF OWNERSHIP/MAINTENANCE) OF THE JEA OFF-SITE UTILITIES.
7. THE MINIMUM HORIZONTAL AND VERTICAL SEPARATION REQUIREMENTS FOR THE WATER, RECLAIMED WATER, AND WASTEWATER IMPROVEMENTS SHALL CONFORM TO THE LATEST JEA AND FDEP RULES. THE MINIMUM HORIZONTAL SEPARATION REQUIREMENTS BETWEEN THE PROPOSED WATER AND WASTEWATER UTILITIES AND PONDS OR STRUCTURES SHALL CONFORM TO THE LATEST JEA WATER AND WASTEWATER STANDARDS MANUAL.
8. WATER AND WASTEWATER PIPES LESS THAN 24-INCHES IN DIAMETER SHALL BE CONSTRUCTED WITH A MINIMUM 30-INCHES COVER IN UNPAVED OR SIDEWALK AREAS AND A MINIMUM OF 36-INCHES COVER IN PAVED AREAS. THE MAXIMUM COVER FOR UTILITIES, BOTH OPEN CUT AND UTILIZING HORIZONTAL DIRECTIONAL DRILL METHODS, SHALL COMPLY WITH THE LATEST JEA WATER AND WASTEWATER STANDARDS MANUAL.
9. WATER AND WASTEWATER PRESSURE MAINS AND SERVICES SHALL PASS A JEA PRESSURE AND LEAKAGE TEST AT 150-PSI MINIMUM, OR TWO TIMES OPERATING PRESSURE, FOR 2-HOURS. IN ADDITION, WATER MAINS SHALL BE DISINFECTED AND PASS A BACTERIOLOGICAL ANALYSIS. ALL TESTS SHALL CONFORM TO JEA AND FDEP RULES, REGULATIONS, AND AWWA C-651. THE JEA INSPECTOR SHALL BE NOTIFIED 72-HOURS (MIN) PRIOR TO PERFORMING THESE TESTS. NO FINAL CONNECTION(S) TO EXISTING POTABLE WATER MAINS SHALL BE MADE UNTIL THE NEW MAIN IS PRESSURE TESTED, DISINFECTED, AND CLEARED FOR SERVICE.
10. IN THE AREAS WHERE SOLVENT CONTAMINATION IS FOUND IN THE TRENCH, WORK SHALL BE STOPPED AND THE PROPER REGULATORY AUTHORITIES NOTIFIED. A REVISED CONSTRUCTION PLAN SHALL BE APPROVED BY JEA AND FDEP THAT COMPLIES WITH ALL REGULATORY RULES. THE REVISED CONSTRUCTION PLAN FOR THE JEA WATER MAIN SYSTEM, INCLUDING WATER SERVICE LINES, MAY INVOLVE GALVANIZED OR DUCTILE IRON PIPE WITH SPECIAL SOLVENT RESISTANT (FLUOROCARBON TYPE) GASKETS THAT EXTEND 100-FEET BEYOND THE CONTAMINATED AREAS.
11. THE CONTRACTOR SHALL MINIMIZE SERVICE INTERRUPTIONS TO EXISTING JEA WATER AND WASTEWATER CUSTOMERS. IF JEA APPROVES A SERVICE INTERRUPTION, THEN THE CONTRACTOR WILL BE RESPONSIBLE FOR NOTIFYING THE AFFECTED CUSTOMERS IN ACCORDANCE WITH THE LATEST JEA RULES.
12. RESIDENTIAL SERVICES USING RECLAIMED WATER FOR IRRIGATION MUST HAVE A JEA APPROVED BACKFLOW PREVENTER INSTALLED ON EACH POTABLE WATER SERVICE PRIOR TO THE INSTALLATION OF A JEA RECLAIMED WATER METER. THE INSTALLATION OF A BACKFLOW PREVENTER SHALL BE IN ACCORDANCE WITH THE JEA RULES AND REGULATIONS FOR WATER, SEWER, AND RECLAIMED WATER SERVICES, APPENDIX B, CROSS CONNECTION CONTROL POLICY.
13. FOR DEVELOPMENTS UTILIZING RECLAIMED WATER, A JEA APPROVED RECLAIMED WATER SIGNAGE PLAN SHALL BE IMPLEMENTED PRIOR TO THE INSTALLATION OF THE RECLAIMED WATER METERS.
14. ALL BACKFLOW PREVENTERS SHALL BE IN ACCORDANCE WITH JEA CROSS CONNECTION PROGRAM. BACKFLOW PREVENTERS MUST BE TESTED AFTER INSTALLATION BY A CERTIFIED TESTER AND ANNUALLY THEREAFTER. JEA CONTACT: PERMITTING 904-665-7988.
15. BACKFLOW PREVENTERS ON FIRE LINES OR COMBINATION FIRE/POTABLE MAINS SHALL HAVE FREEZE PROTECTION.



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**LIBERTY COVE  
NASSAU, LLC**

**LIBERTY COVE  
AMENITY CENTER**

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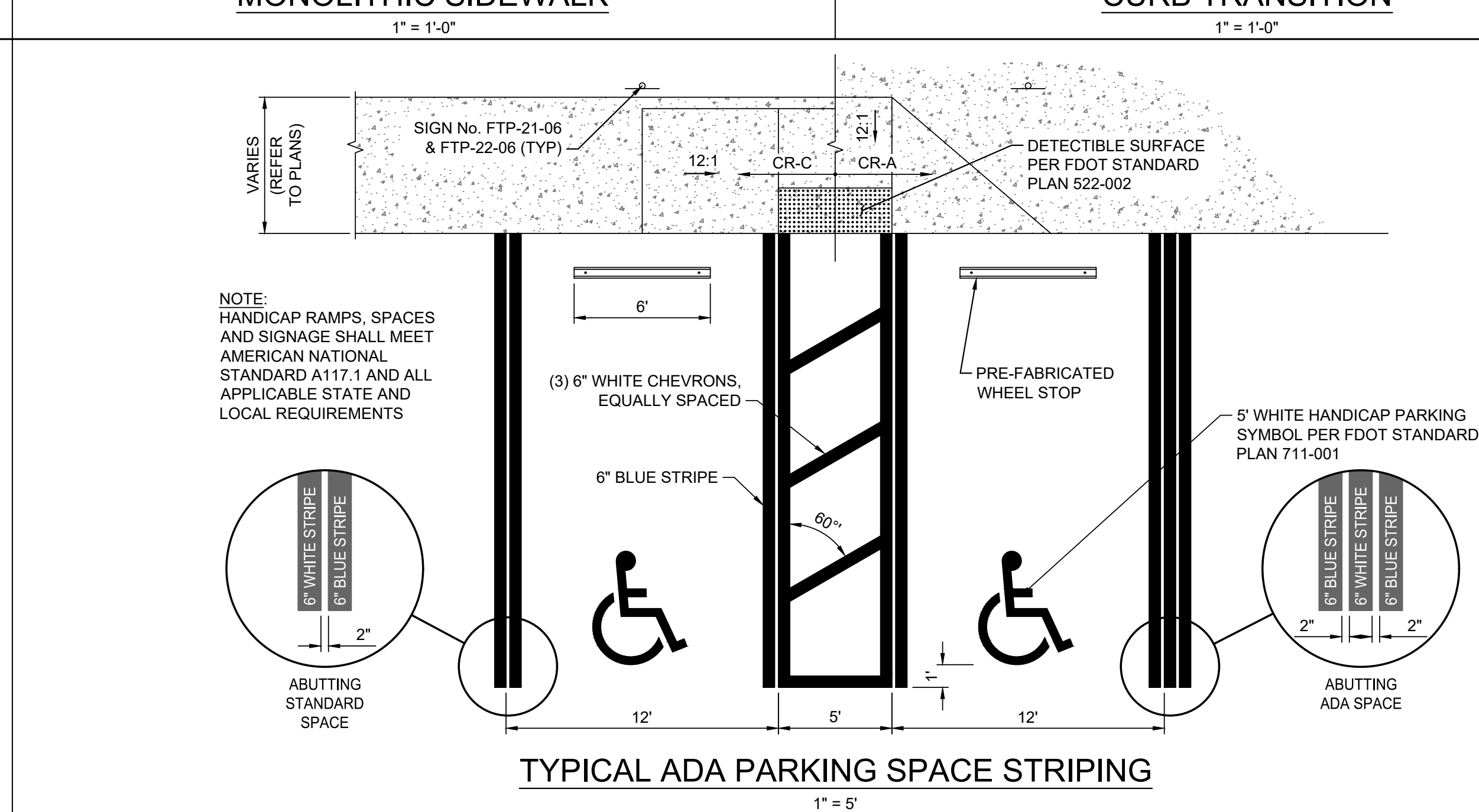
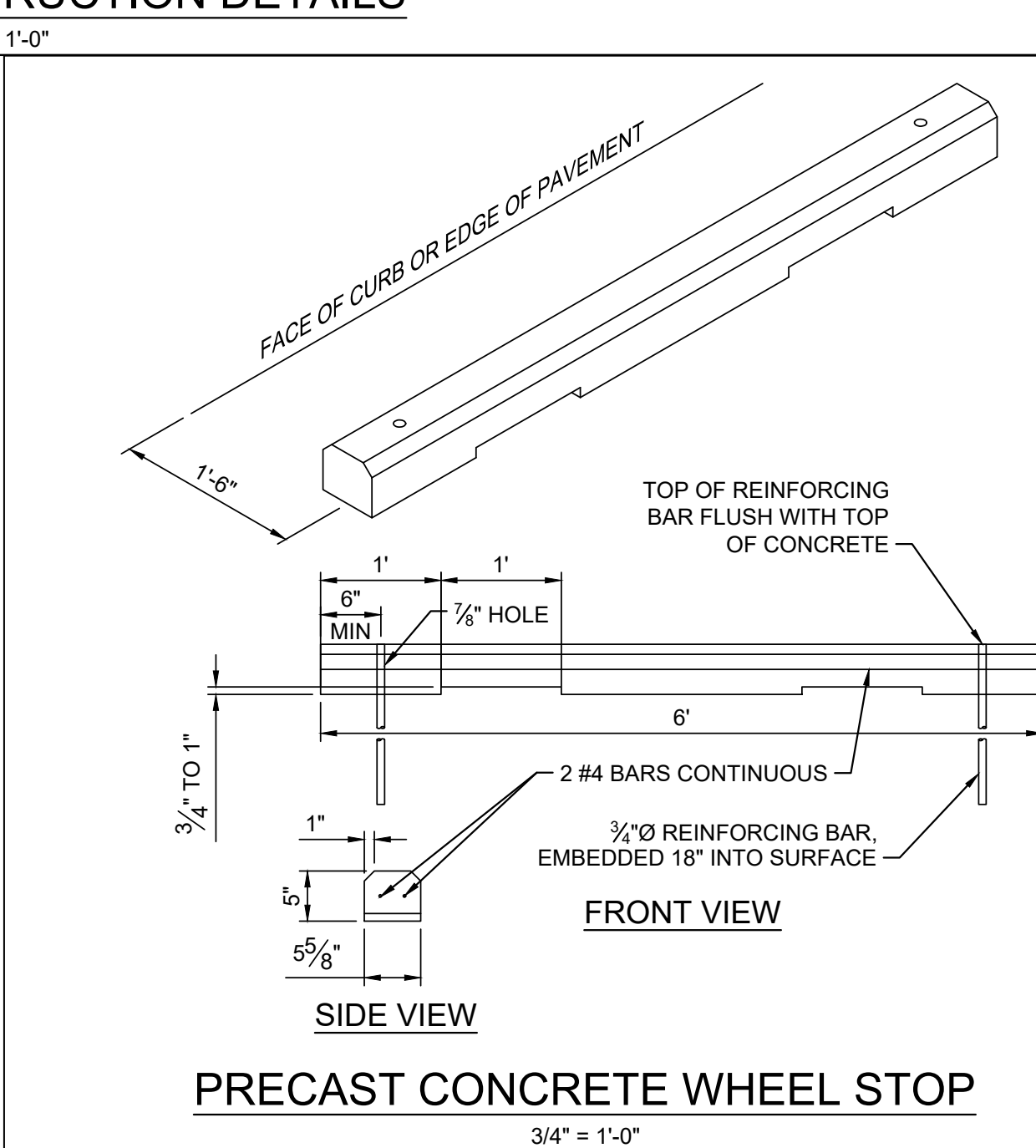
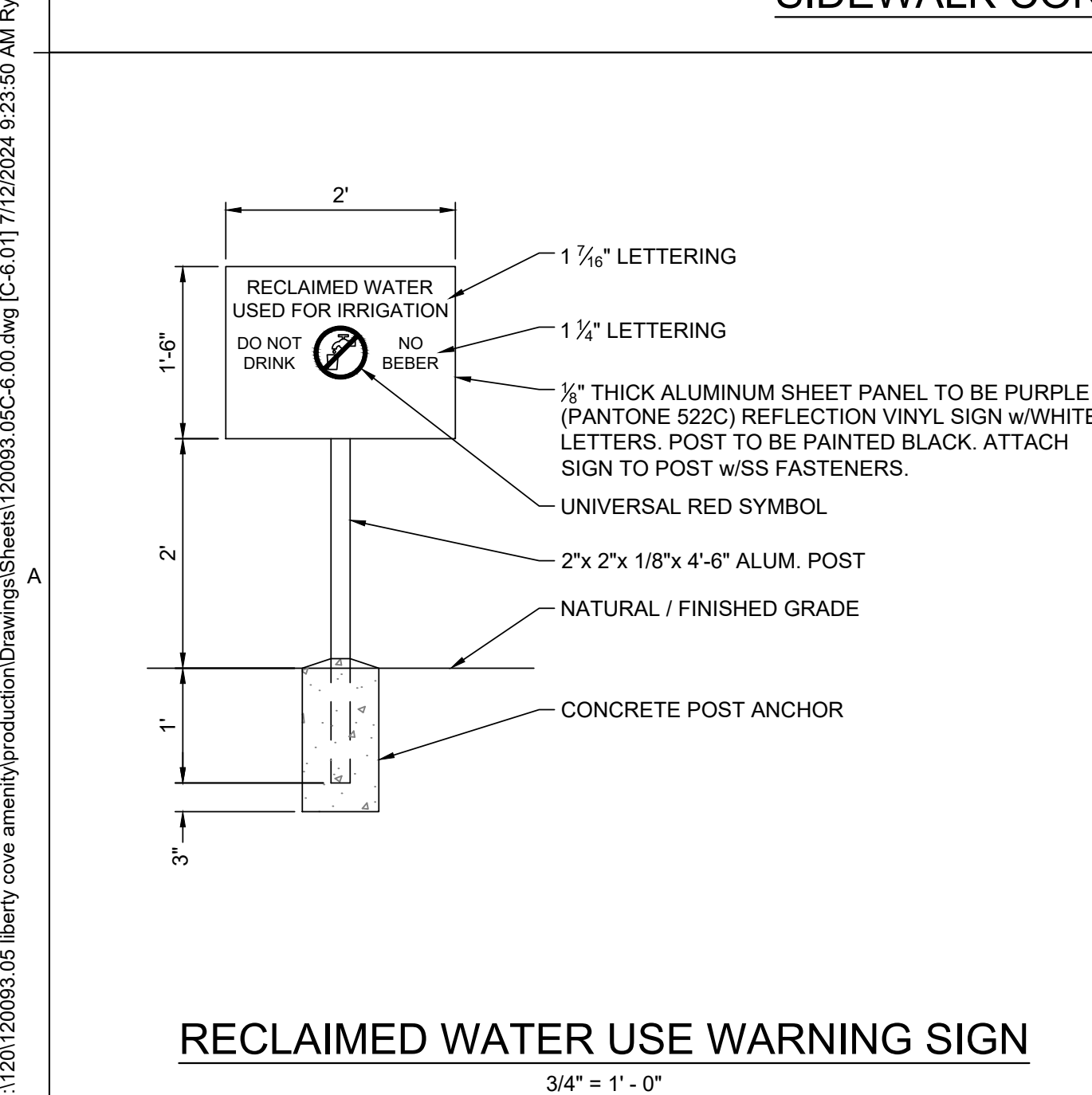
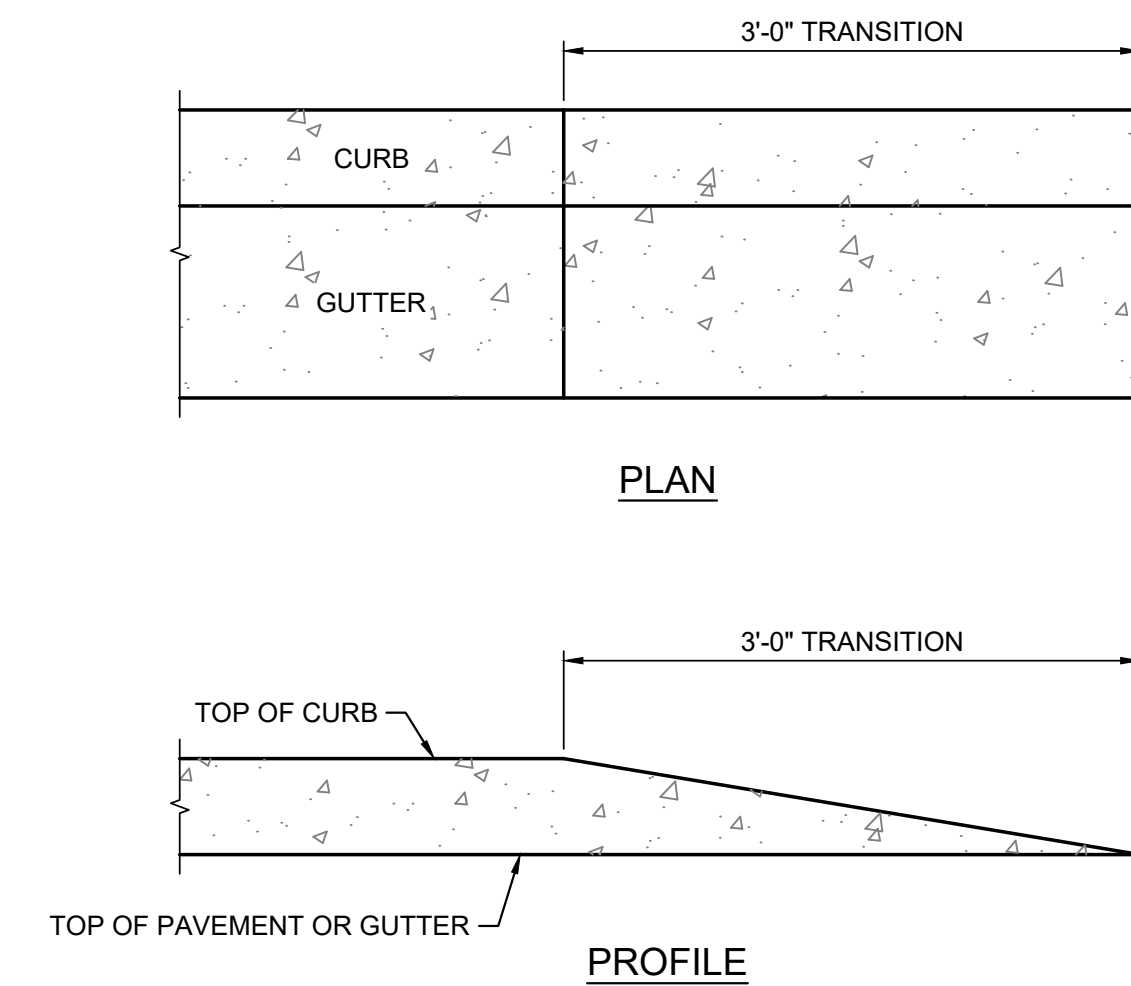
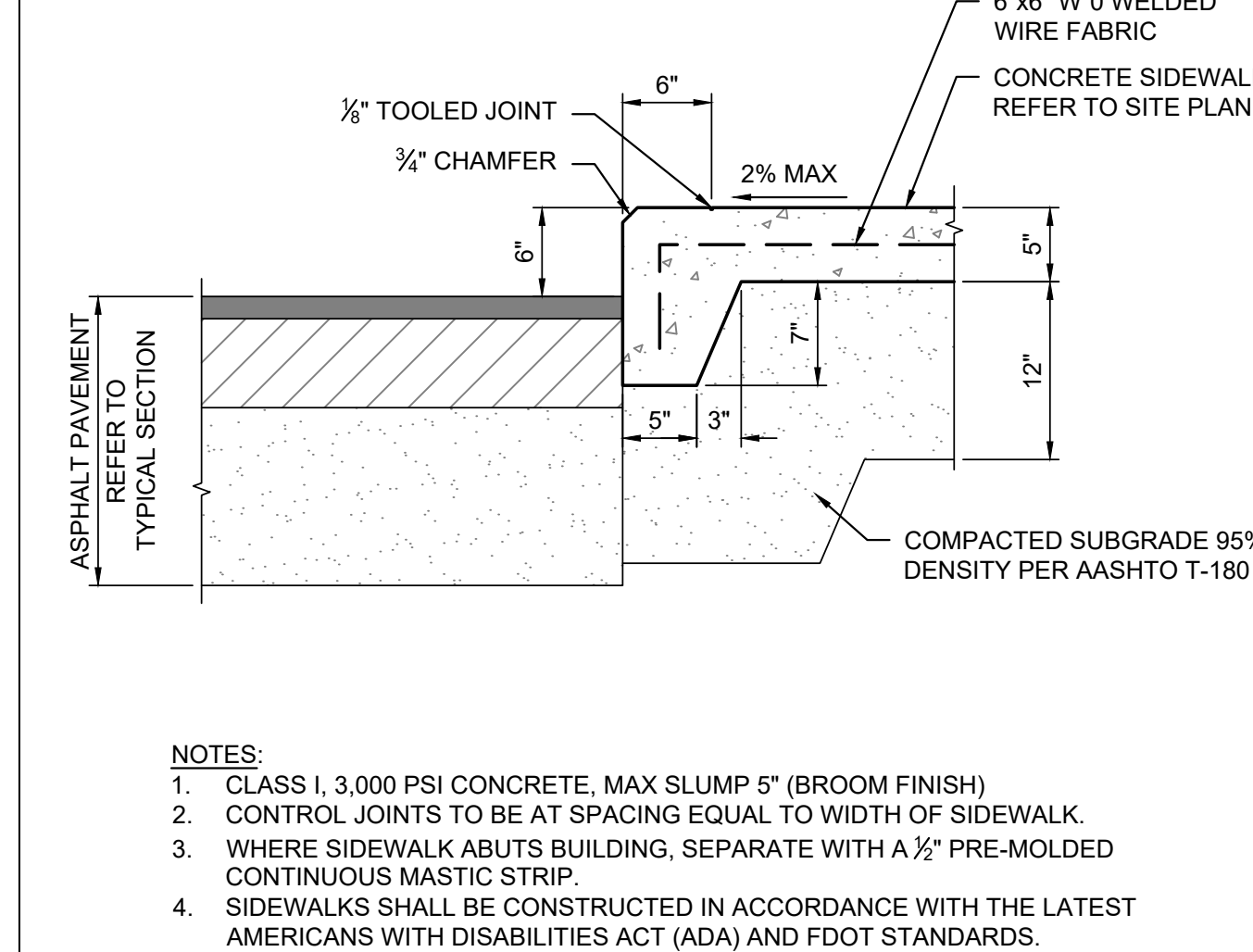
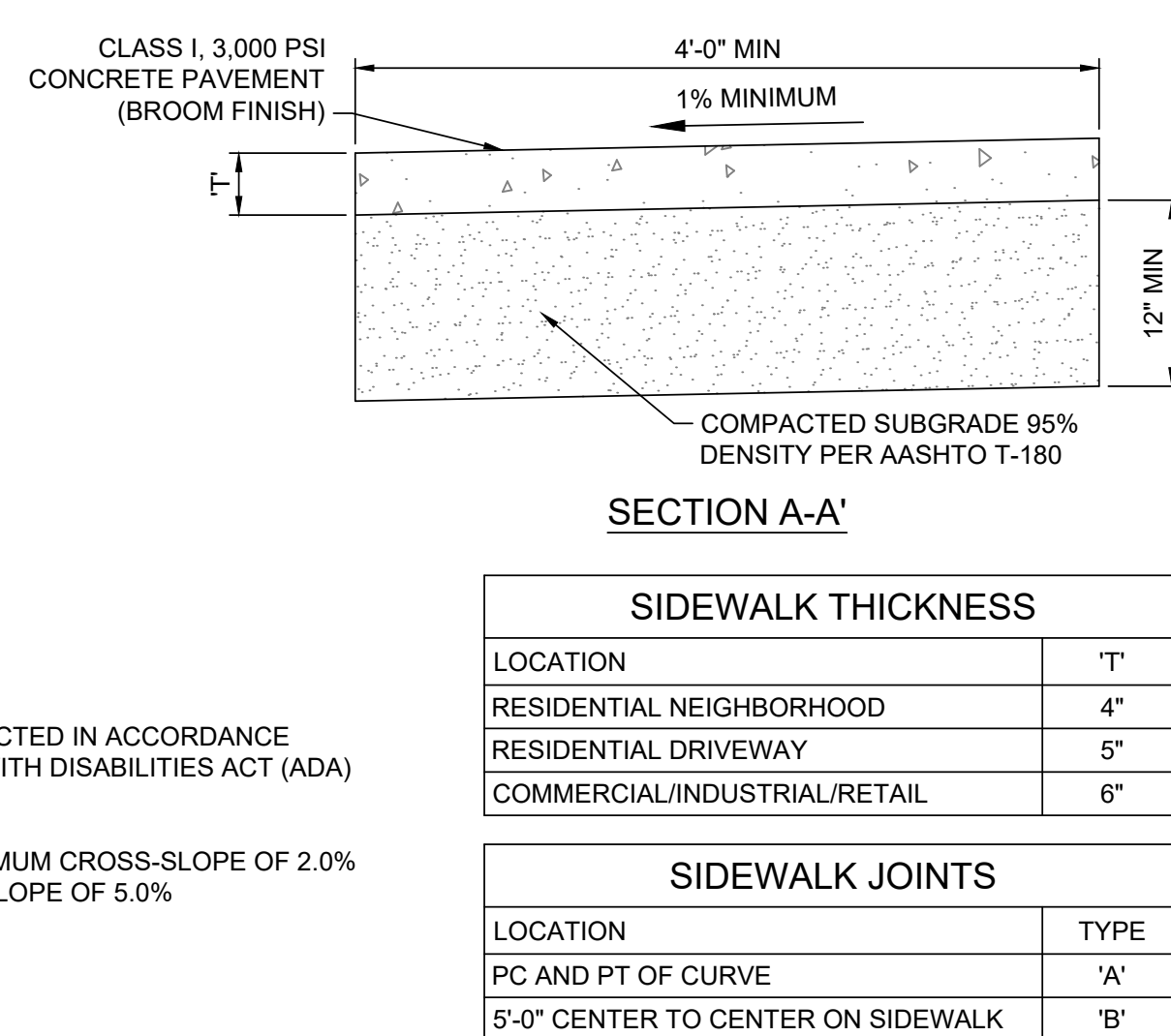
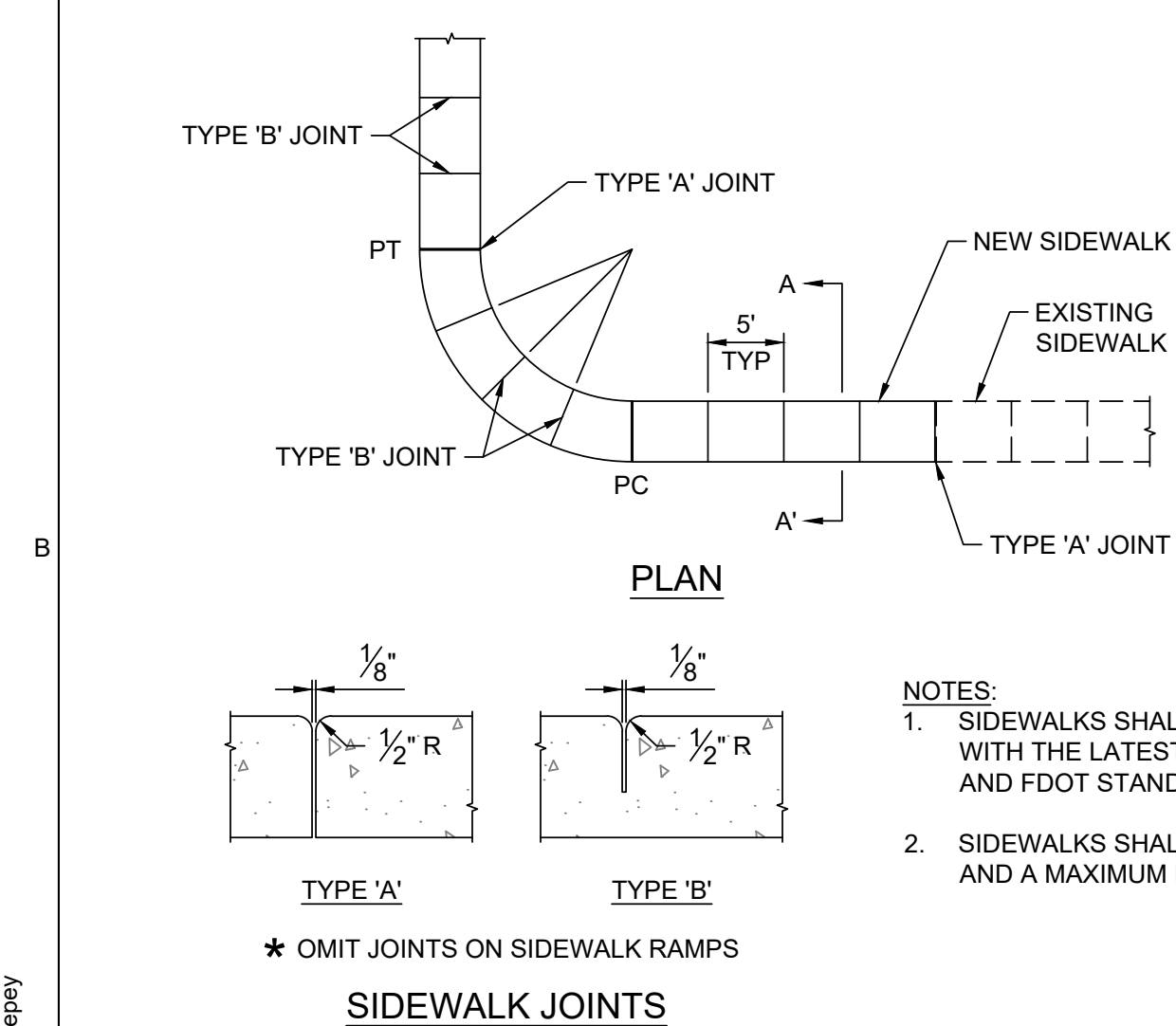
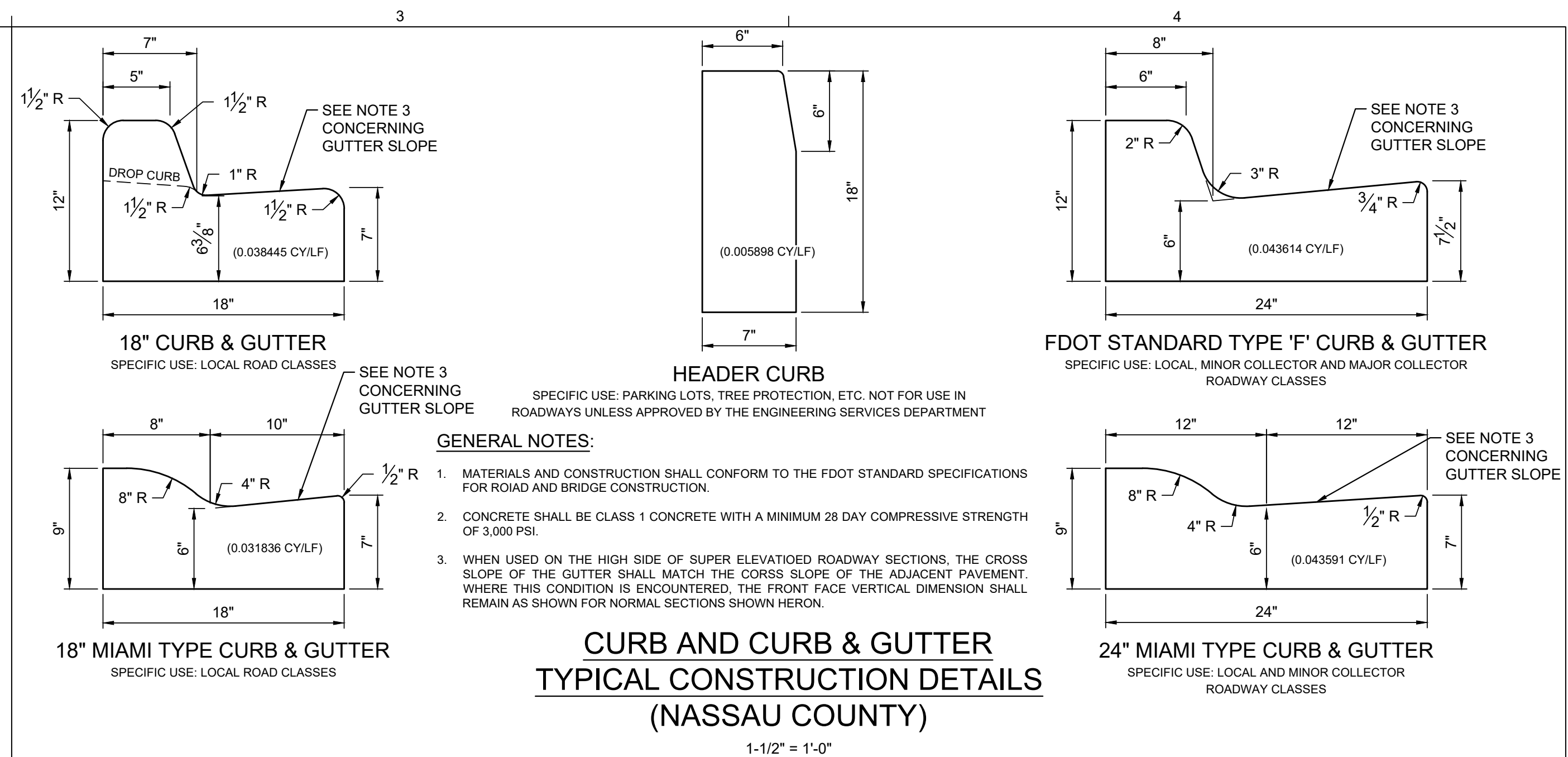
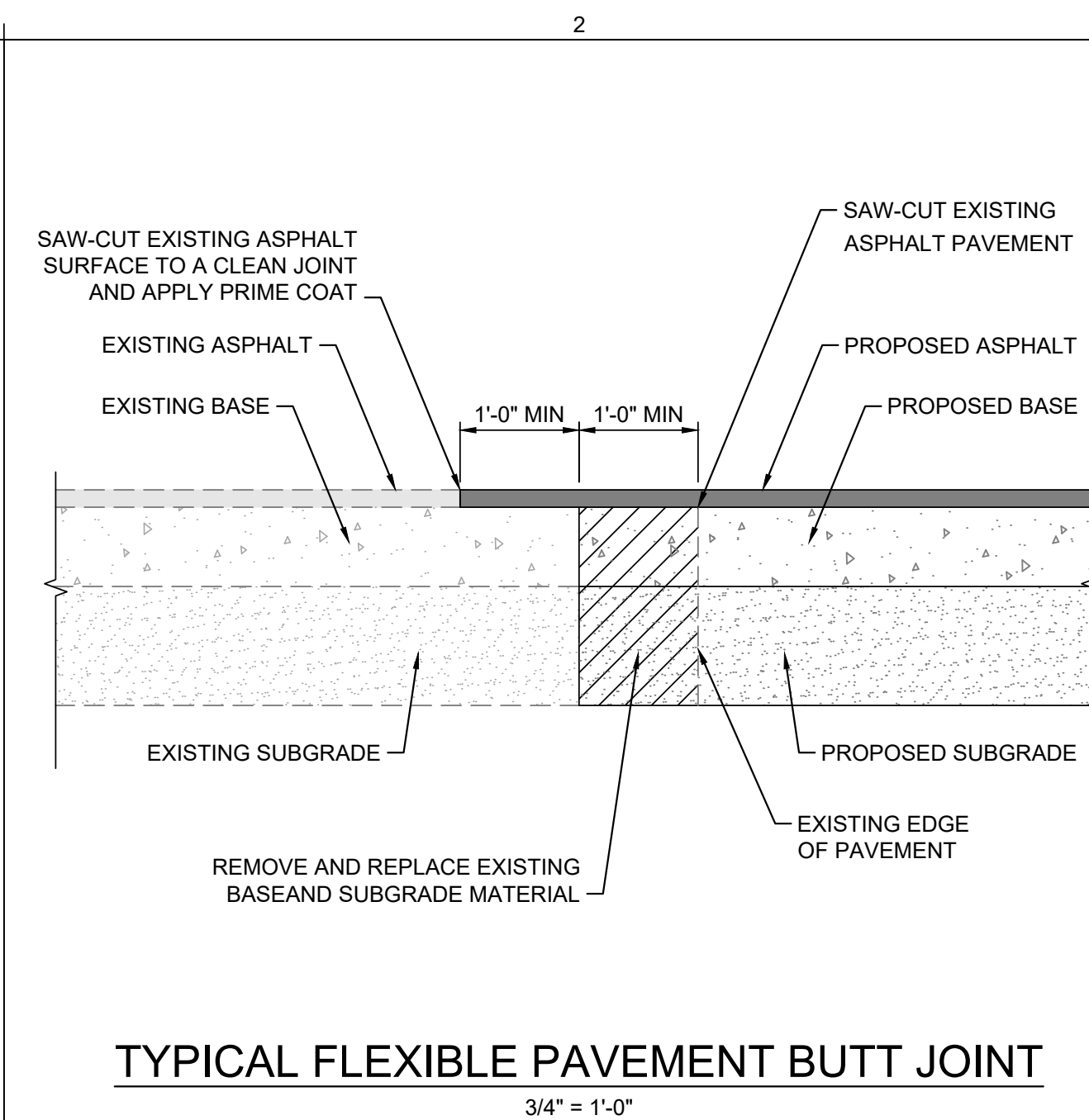
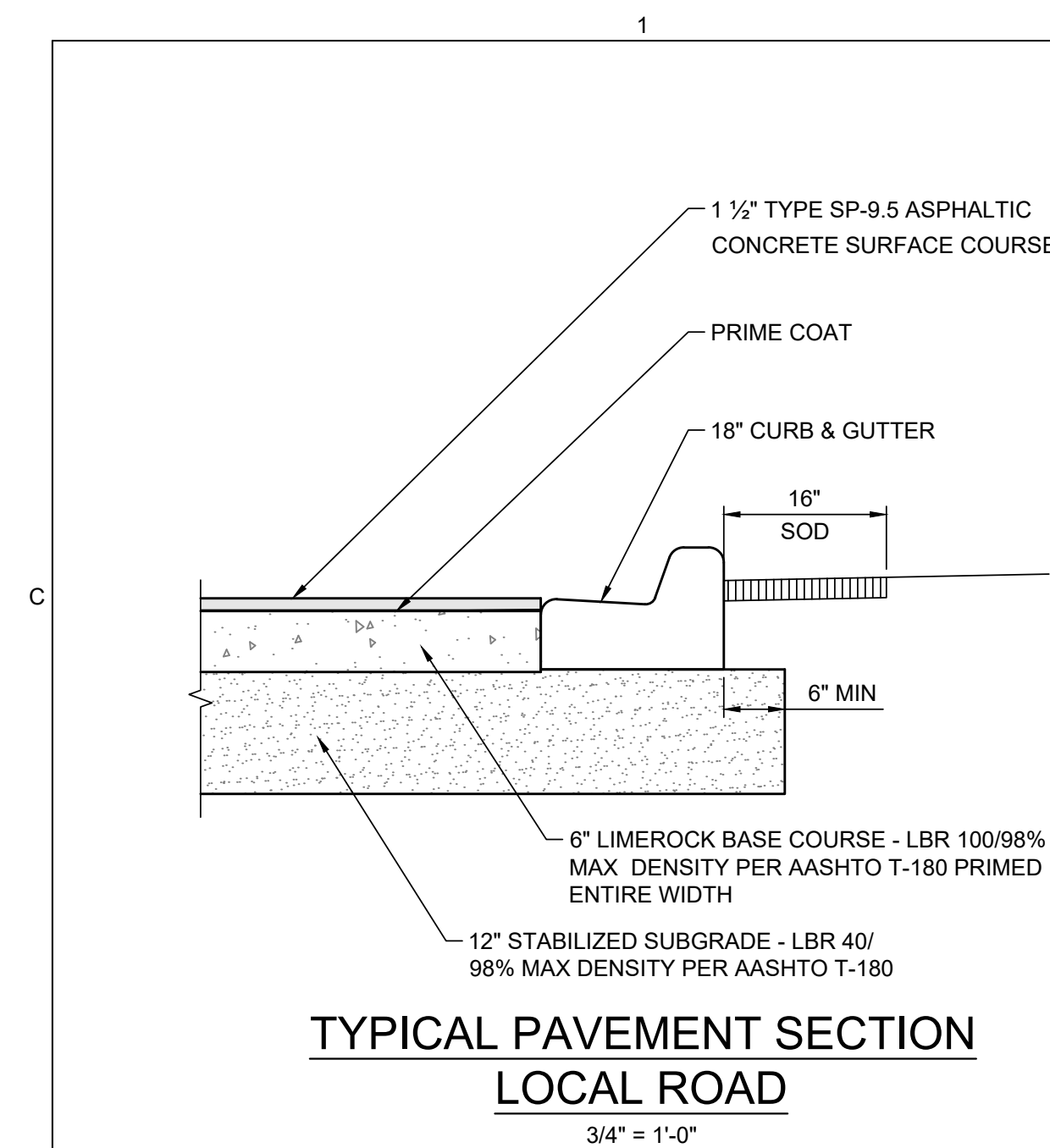
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## UTILITY PLAN

C-5.01

NEAL E. BROCKMEIER, PE  
FL Lic. No. 54561  
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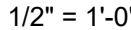
## PAVING & DRAINAGE DETAILS





NTS

NTS


$$1/2'' = 1'-0$$

CONCRETE: 4,000 P.S.I.  
STEEL: #4 @ 12" E.W., WITH 1 #6 OVER PIPE OPENING.  
(2" CLEARANCE OVER STEEL REINFORCING  
BARS, 1/2" TOLERANCE).

## TABLE OF DIMENSIONS

RCP/ CMP	A	B	C	D	E	F	G
15" - 18"	2'-7"	2'-1"	6"	6"	6 3/4"	1'-6"	1'-7"
24"	2'-11"	2'-8"	6"	5"	4 1/2"	1'-11"	2'
30"	3'-6"	3'-2"	6"	6"	5 1/2"	2'-5"	2'-6 1/2"
36"	4'-1"	3'-10"	6"	7"	5 1/2"	2'-9"	3'

RCP/ CMP	H	J	K	L	M	N
15" - 18"	2'-10"	2'-4"	8"	6"	6'-10"	7'
24"	3'-6"	3'-1"	7 1/2"	5"	10'	10'-0 1/2"
30"	3'-9"	3'-5"	7"	5"	11'-5"	11'-8 1/4"
36"	4'-6"	4'	6"	6"	14'	14'-4 1/2"

NOTES:  
1. REFER TO CITY OF JACKSONVILLE STANDARD DETAIL  
PLATES D-431 & D-432.



NTS



NOTES:

1. PIPE BEDDING : SELECT COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
2. TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
3. PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK IN ACCORDANCE WITH TYPE 'A' BEDDING AND TRENCHING DETAIL MAY BE REQUIRED AS DIRECTED BY THE COUNTY.
4. 15" MAXIMUM FOR PIPE DIAMETER LESS THAN 24", AND 24" MAXIMUM FOR PIPE DIAMETER 24" AND LARGER.
5. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
6. ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF FLOW.

NTS


$$1/4" = 1'-0"$$

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NASSAU, LLCLIBERTY COVE  
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## PAVING & DRAINAGE DETAILS

C-6.02

NEAL E. BROCKMEIER, PE  
FL Lic. No. 54561  
DATE:

S H E E T











## C

B

1. THIS SEPARATION REQUIREMENT IS TO PROVIDE ACCESSIBILITY FOR CONSTRUCTION AND MAINTENANCE. THREE FEET OF HORIZONTAL SEPARATION IS THE MINIMUM FOR PIPES WITH THREE FEET OF COVER. FOR PIPES INSTALLED AT GREATER DEPTH, PROVIDE AN ADDITIONAL FOOT OF SEPARATION FOR EACH ADDITIONAL FOOT OF DEPTH.
2. THE MINIMUM JOINT SPACING REQUIRED FROM CROSSING FROM OTHER UTILITIES WHILE STILL MAINTAINING MINIMUM VERTICAL SEPARATION.
3. DISTANCES GIVEN ARE FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE.
4. NO WATER PIPE SHALL PASS THROUGH OR COME INTO CONTACT WITH ANY PART OF SANITARY OR STORM WATER MANHOLE OR STRUCTURES.
5. WATER MAIN SHOULD CROSS ABOVE OTHER PIPES WHENEVER POSSIBLE. WHEN WATER MAIN MUST BE BELOW OTHER UTILITY PIPING, THE MINIMUM SEPARATION SHALL BE 12 INCHES.
6. REFER TO POTABLE WATER PIPING- SECTION 350, III.4.11.
7. SEE SECTION 350, III.4.10 FOR MINIMUM SEPARATION REQUIREMENTS FROM PIPE TO STRUCTURES.

**A**

PLATE W-10

- IT IS REQUIRED THAT "WATER MAINS" BE INSTALLED, CLEANED, DISINFECTED AND HAVE A SATISFACTORY BACTERIOLOGICAL SURVEY PERFORMED IN ACCORDANCE WITH THE LATEST APPLICABLE AWWA STANDARDS, CHAPTER 62-555, F.A.C. AND LATEST JEA WATER AND SEWER STANDARDS. FOR THE PURPOSE OF THIS SECTION, THE PHRASE "WATER MAINS" SHALL MEAN MAINS INCLUDING TREATMENT PLANT PROCESS PIPING, CONVEYING EITHER RAW, PARTIALLY TREATED, OR FINISHED DRINKING WATER, FIRE HYDRANT LEADS, AND SERVICE LINES THAT HAVE AN INSIDE DIAMETER OF THREE (3) INCHES OR GREATER. IN ADDITION, THE PHRASE "RECLAIMED WATER" REFERS TO THE WATER REGULATED UNDER PART II OF CHAPTER 62-610, F.A.C.
2. NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE (3) FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER.
3. NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX (6) FEET, AND PREFERABLY TEN (10) FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS MAY BE REDUCED TO THREE (3) FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX (6) INCHES ABOVE THE TOP OF THE SEWER (SPECIAL CASE).
4. NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX (6) INCHES, AND PREFERABLY TWELVE (12) INCHES, ABOVE OR AT LEAST TWELVE (12) INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
5. NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST TWELVE (12) INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
6. AT THE UTILITY CROSSINGS DESCRIBED IN NOTES 4 AND 5 ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. SPECIFICALLY, SUCH CROSSINGS SHALL BE LOCATED SO THAT WATER MAIN JOINTS ARE AT LEAST THREE (3) FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORMWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER, AND AT LEAST SIX (6) FEET FROM ALL JOINTS IN GRAVITY OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINE CONVEYING RECLAIMED WATER.
7. NEW OR RELOCATED FIRE HYDRANTS SHALL BE LOCATED SO THAT THE HYDRANTS ARE AT LEAST THREE (3) FEET FROM ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER; AT LEAST THREE (3) FEET, AND PREFERABLY TEN (10) FEET, FROM ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER; AT LEAST SIX (6) FEET, AND PREFERABLY TEN (10) FEET, FROM ANY EXISTING OR PROPOSED GRAVITY OR PRESSURE-TYPE SANITARY SEWER OR WASTEWATER FORCE MAIN.
8. WHERE AN UNDERGROUND WATER MAIN IS BEING LAID LESS THAN THE REQUIRED MINIMUM HORIZONTAL DISTANCE FROM ANOTHER PIPELINE AND WHERE AN UNDERGROUND WATER MAIN IS CROSSING ANOTHER PIPELINE AND JOINTS IN THE WATER MAIN ARE BEING LOCATED LESS THAN THE REQUIRED MINIMUM DISTANCE FROM JOINTS IN THE OTHER PIPELINE, THE CONTRACTOR SHALL CONSULT THE DESIGN ENGINEER TO OBTAIN APPROVAL OF ANY ALTERNATIVE CONSTRUCTION METHODS, PRIOR TO CONSTRUCTION.

## JANUARY 2024

PLATE W-11

## JANUARY 2024

## JANUARY 2024

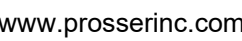
PLATE W-14



1. LOCATE. WIRE SHALL BE ROUTED FROM THE VALVE TO THE HYDRANT AS SHOWN ABOVE LEAVING ENOUGH SLACK TO REACH 4' ABOVE FINAL GRADE. THE END OF THE WIRE SHALL BE SECURED TO THE PIPE MAN. SEE SECTION 350. LOCATE WIRE INSTALLATION PARAGRAPH.
2. FIRE HYDRANTS SHALL BE INSTALLED BETWEEN BACK OF CURB AND FACE OF SIDEWALK AND NOT WITHIN SWALE/DITCH AREAS. THE DISTANCE RANGE FROM EDGE OF ADJACENT PAVEMENT, BACK OF CURB AND FACE OF SIDEWALK SHALL BE IN COMPLIANCE WITH LOCAL COUNTY FIRE DEPARTMENT RULES AND AS APPROVED BY THE MOST APPLICABLE PERMITTING AGENCY. DISTANCE SHALL BE MEASURED TO THE CLOSEST PART OF THE FIRE HYDRANT (I.E. THE PUMPER NOZZLE). THE MAXIMUM DISTANCE (BACK OF CURB) SHALL BE IN COMPLIANCE WITH LOCAL COUNTY FIRE DEPARTMENT RULES AND AS APPROVED BY JEA. FOR OTHER LOCATION LIMITATIONS SEE PLATES W-10 AND W-11. IF PIPING BETWEEN TEE AND HYDRANT IS LONGER THAN 80 LF, AN ADDITIONAL 6" GATE VALVE IS REQUIRED AT THE HYDRANT LOCATION (PROVIDE 30" SEPARATION). ALL PIPING, VALVES AND FITTINGS ALONG THE HYDRANT BRANCH MAIN WHICH IS WITHIN 15 LF OF THE HYDRANT SHALL BE RESTRAINED UTILIZING ONLY TWO 3/4" DIA (THREADED ENDS) STEEL RODS AND EYE BOLTS (NO JOINT RESTRAINT DEVICES REQUIRED). A SPLIT SEPARATED RING WITH RESTRAINT EARS (EBA1 15 SP06 or EQUAL) MAYBE USED IN THIS ASSEMBLY. ALL OTHER JOINTS ALONG THE HYDRANT BRANCH MAIN OUTSIDE OF THE FIRST 15 LF SHALL INCLUDE JOINT RESTRAINTS.
3. NO WATER MAIN BRANCHES OR SERVICE TAPS SHALL BE ALLOWED ALONG THE HYDRANT BRANCH MAIN, UNLESS APPROVED BY JEA.
4. OPERATION OF THE FIRE HYDRANT SHALL BE EITHER FULL OPEN POSITION OR TOTALLY CLOSED POSITION. THE HYDRANT SHALL NOT BE UTILIZED TO THROTTLE OUTLET FLOW.
5. PRIOR TO PROJECT FINAL INSPECTION, THE HYDRANT AND ALL ABOVE GROUND PIPING SHALL BE RE-OILED, GREASED AND REPAINTED (RUS- KIL ENAMEL-INTERNATIONAL YELLOW OR EQUAL). PRIVATELY OWNED AND MAINTAINED FIRE HYDRANTS SHALL BE PAINTED RED.
6. FIRE HYDRANTS SHALL BE ORDERED WITH PROPER "BURY DEPTH" TO MEET ACTUAL FIELD CONDITIONS. THIS IS ESPECIALLY IMPORTANT FOR BRANCH LINES WHICH TEE-OFF A 12" OR LARGER WATER MAIN, UNLESS APPROVED OTHERWISE BY JEA. THE INSTALLATION OF 45° BENDS IS NOT ACCEPTABLE WHEN UTILIZED TO CORRECT AN IMPROPERLY FURNISHED HYDRANT. THE USE OF HYDRANT EXTENSIONS SHOULD BE MINIMIZED.
7. BLUE REFLECTIVE MARKERS SHALL BE INSTALLED IN SUCH A MANNER THAT THE REFLECTIVE FACE OF THE MARKER IS PERPENDICULAR TO A LINE PARALLEL TO THE CENTERLINE. THE BLUE REFLECTIVE MARKERS SHALL BE PLACED IN THE CENTER OF THE TRAVEL LANE, DIRECTLY ACROSS FROM AND ADJACENT TO EACH FIRE HYDRANT.



1. LOCATE WIRE SHALL BE RE-RTED FROM THE VALVE TO THE HYDRANT AS SHOWN ABOVE LEAVING ENOUGH SLACK TO REACH 4' ABOVE FINAL GRADE. THE END OF THE WIRE SHALL BE SECURED TO THE PIPE MAIN. SEE SECTION 350, LOCATE WIRE INSTALLATION PARAGRAPH.
2. FIRE HYDRANTS SHALL BE INSTALLED BETWEEN BACK OF CURB AND FACE OF SIDEWALK. ALL HYDRANTS SHALL BE LOCATED NO LESS THAN THREE (3) FEET FROM THE EDGE OF PAVEMENT OR BACK OF CURB OF THE ADJACENT ROADWAY AND NO LESS THAN THREE (3) FEET FROM ANY PHYSICAL FEATURE WHICH MAY OBSTRUCT ACCESS OR VIEW OF ANY HYDRANT UNLESS OTHERWISE APPROVED BY THE JEA. THE MAXIMUM DISTANCE (BACK OF CURB) SHALL BE IN COMPLIANCE WITH LOCAL COUNTY FIRE DEPARTMENT RULES AND AS APPROVED BY JEA. FOR OTHER LOCATION LIMITATIONS SEE PLATES W-10 AND W-11. IF PIPING BETWEEN TEE AND HYDRANT IS LONGER THAN 80 LF, AN ADDITIONAL 6" GATE VALVE IS REQUIRED AT THE HYDRANT LOCATION (PROVIDE 30" SEPARATION). ALL PIPING, VALVES AND FITTINGS ALONG THE HYDRANT BRANCH MAIN WHICH IS WITHIN 15 LF OF THE HYDRANT SHALL BE RESTRAINED UTILIZING ONLY TWO 3/4" DIA (THREADED ENDS) STEEL RODS AND EYE BOLTS (NO JOINT RESTRAINT DEVICES REQUIRED). A SPLIT SERRATED RING WITH REINSTRANT EARS (BBA 15 P706 OR EQUAL) MAYBE USED IN THIS ASSEMBLY. ALL OTHER JOINTS ALONG THE HYDRANT BRANCH MAIN OUTSIDE OF THE FIRST 15 LF SHALL INCLUDE JOINT RESTRAINTS.
3. NO WATER MAIN BRANCHES OR SERVICE TAPS SHALL BE ALLOWED ALONG THE HYDRANT BRANCH MAIN, UNLESS APPROVED BY JEA.
4. OPERATION OF THE FIRE HYDRANT SHALL BE EITHER FULL OPEN POSITION OR TOTALLY CLOSED POSITION. THE HYDRANT SHALL NOT BE UTILIZED TO THROTTLE OUTLET FLOW.
5. PRIOR TO PROJECT FINAL INSPECTION, THE HYDRANT AND ALL ABOVE GROUND PIPING SHALL BE RE-OILED, GREASED AND REPAINTED (RUS- KIL ENAMEL-INTERNATIONAL YELLOW OR EQUAL), PRIVATELY OWNED AND MAINTAINED FIRE HYDRANTS SHALL BE PAINTED RED.
6. FIRE HYDRANTS SHALL BE ORDERED WITH PROPER "BURY DEPTH" TO MEET ACTUAL FIELD CONDITIONS. THIS IS ESPECIALLY IMPORTANT FOR BRANCH LINES WHICH TEE-OFF A 12" OR LARGER WATER MAIN, UNLESS APPROVED OTHERWISE BY JEA. THE INSTALLATION OF (45") BENDS IS NOT APPROPRIATE WHEN UTILIZED TO CORRECT AN IMPROPERLY FURNISHED HYDRANT. THE USE OF HYDRANT EXTENSIONS SHOULD BE MINIMIZED.
7. BLUE REFLECTIVE MARKERS SHALL BE INSTALLED IN SUCH A MANNER THAT THE REFLECTIVE FACE OF THE MARKER IS PERPENDICULAR TO A LINE PARALLEL TO THE ROADWAY CENTERLINE. THE BLUE REFLECTIVE MARKERS SHALL BE PLACED IN THE CENTER OF THE TRAVEL LANE, DIRECTLY ACROSS FROM AND ADJACENT TO EACH FIRE HYDRANT.



Florida Certificate of Authorization Number: 00004050

LIBERTY COVE  
AMENITY CENTER

DATE : 2024-07-12

PROJECT NO. : 120093.05

DESIGNED BY : NEB

DRAWN BY : KMDW

SCALE : AS NOTED

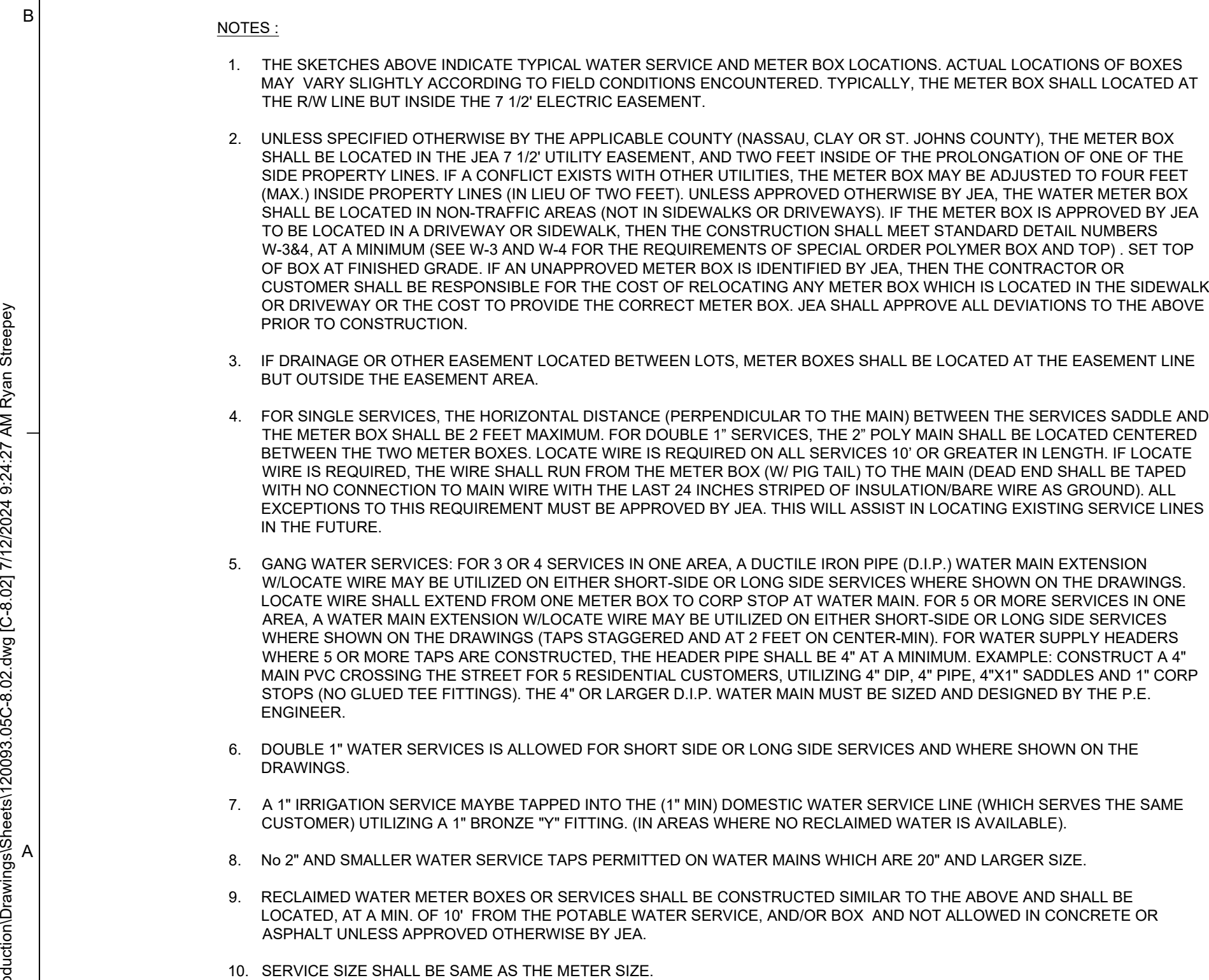
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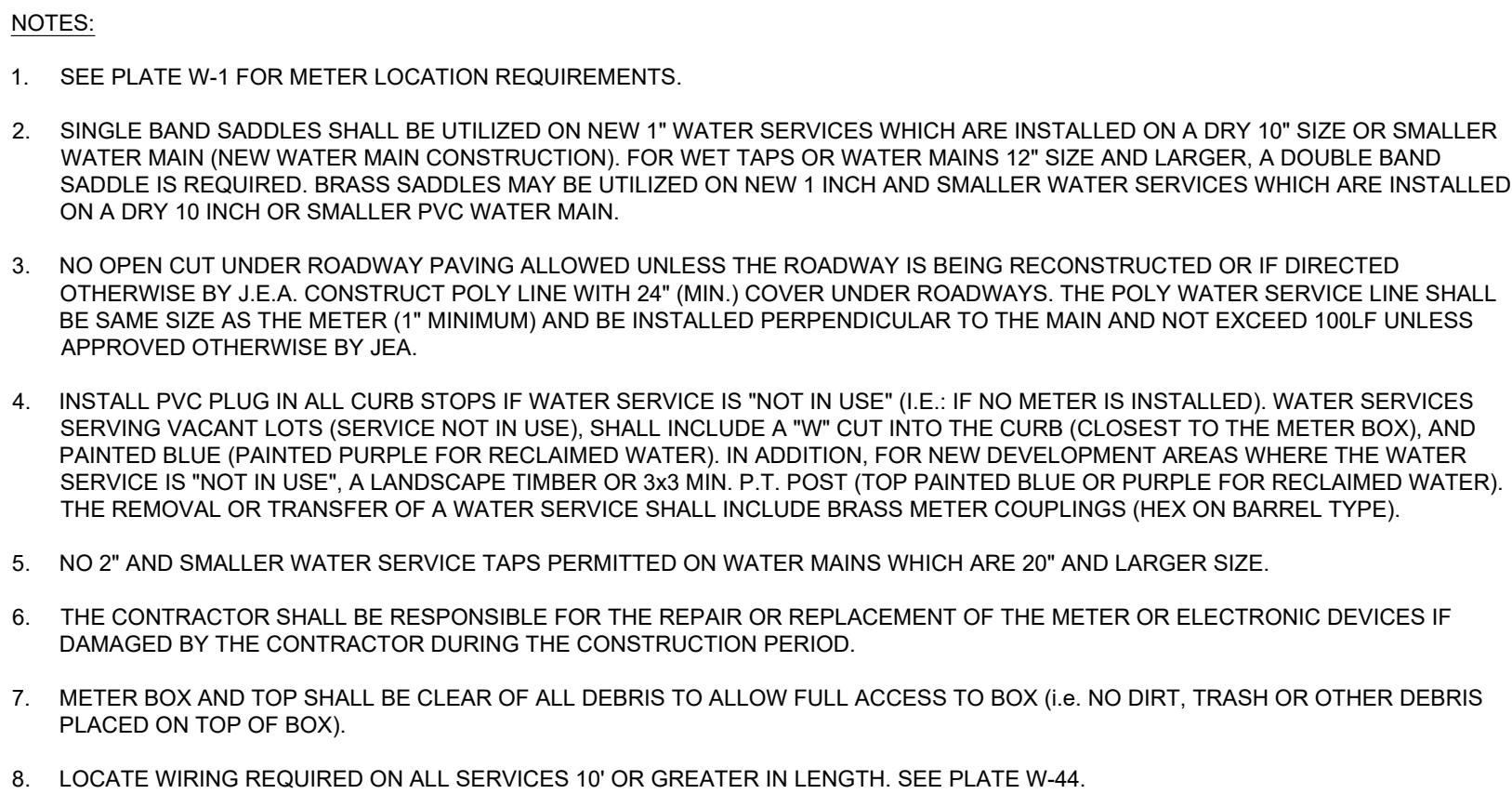
C-8.01

NEAL E. BROCKMEIER, PI  
FL Lic. No. 54561  
DATE:

S H E E T



## JANUARY 2024



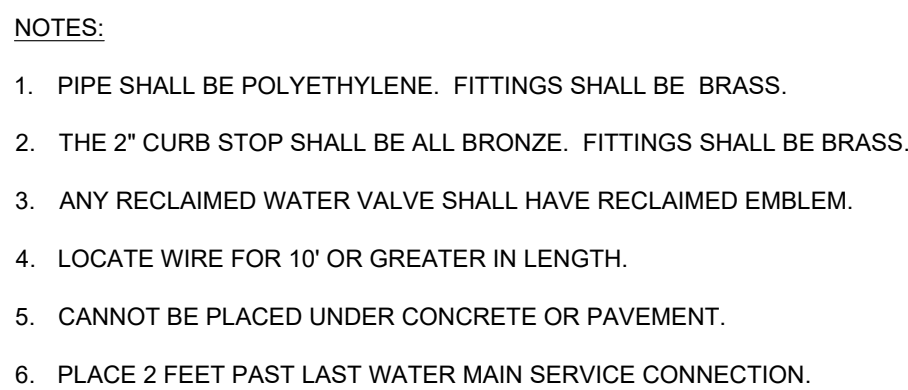
## JANUARY 2024

Diagram illustrating the components and installation details for a water main tapping procedure:

- 2" X 2" TEE (TO BE REMOVED)
- 2" BUSHING (TO BE REMOVED)
- 1/2" (MIN) SMOOTH NOSE BIBB (TO BE REMOVED)
- 2" PIPE (TO BE REMOVED)
- 30" MIN (Vertical distance from finished grade to the tapping point)
- FINISHED GRADE
- 2" 90 DEGREE ELBOW (TO BE REMOVED)
- WATER MAIN (SIZE & TYPE VARIES)
- 2" THREADED PLUG (TO BE INSTALLED AFTER BACTERIOLOGICAL CLEARANCE IS RECEIVED)
- 2" CORPORATION STOP CONNECTED DIRECTLY INTO SADDLE (TO REMAIN) (NOTE THAT OUTLET AT 3:00 OR 9:00 POSITION)
- 2" DOUBLE STRAP SERVICE SADDLE (TO REMAIN)

## JANUARY 2024

PLATE W-26



## JANUARY 2024

PLATE W-28

LIBERTY COVE  
AMENITY CENTER





LIBERTY COVE  
NASSAU, LLC

LIBERTY COVE  
AMENITY CENTER

PVC PIPE RESTRAINT NOTES:

1. THIS SCHEDULE SHALL BE UTILIZED ON ALL WATER, SEWER FORCE MAIN OR RECLAIMED WATER SYSTEMS. ALL FITTINGS SHALL BE RESTRAINED TO LENGTHS INDICATED ON THE ABOVE SCHEDULE, AT A MINIMUM.
2. ASSUMPTIONS: PVC PIPE, SAFETY FACTOR=1.5, TEST PRESSURE=150PSI, SOIL=GM OR SM, TRENCH TYPE 3, DEPTH OF COVER=30 INCHES FOR 20" AND SMALLER PIPE SIZE OR 36 INCHES FOR 24" AND LARGER PIPE SIZE.
3. BENDS AND VALVES: SHALL BE RESTRAINED ON EACH SIDE OF FITTING.
4. VERTICAL OFFSETS: ARE APPROX. 3 FEET COVER ON TOP AND APPROX. 8 FEET COVER ON BOTTOM, PER THE DETAILS. L<sub>U</sub> IS THE RESTRAINED LENGTH FOR THE UPPER (TOP) LEVEL. L<sub>D</sub> IS THE RESTRAINED LENGTH FOR THE LOWER (DEEPER) LEVEL. ASSUME 45 DEGREE BENDS.
5. TEES: TOTAL LENGTH BETWEEN FIRST JOINTS OR RESTRAINED LENGTH ON EITHER SIDE OF TEE (RUN) SHALL BE A TOTAL DISTANCE OF 30 FEET (MIN). SEE SCHEDULE ABOVE FOR RESTRAINED LENGTH ON TEE "BRANCH" LINE.
6. HDPE TO PVC TRANSITIONS: THE PVC PIPE SIDE SHALL BE RESTRAINED 35" (MIN).
7. THE INSTALLATION OF BELL HARNESS RESTRAINTS AT PVC JOINTS (DR-18 & 25 PIPE) SHALL BE COMPLETED PER THE MANUFACTURERS RECOMMENDATION, WHICH INCLUDES NOT OVER TIGHTENING THE PARALLEL RODS/NUTS. THESE NUTS SHOULD ONLY BE SNUG TIGHT. TO HOME MARKS ON THE PIPE SHOULD ALWAYS BE VISIBLE AFTER THE RESTRAINT IS INSTALLED. OVERWORMING THE JOINT MAY CAUSE A FAILURE AT THE BELL RESULTING IN A SERVICE OUTAGE.

LENGTH (L) TO BE RESTRAINED										(SEE PLATE Nos. 38C & 38D FOR ADDITIONAL DETAILS)									
NOMINAL PIPE SIZE (IN.)	HORIZONTAL BENDS					VERTICAL OFFSETS (SEE NOTE 4)		VALVES OR DEAD ENDS		REDUCERS					TEES SEE NOTE 5				
	90° BENDS (L (FT.)	45° BENDS (L (FT.)	22.5° BENDS (L (FT.)	11.25° BENDS (L (FT.)		UPPER (L (FT.)	LOWER (L (FT.)			SIZE (IN.)		SIZE (IN.)			RUN SIZE (IN.)	BRANCH SIZE (IN.)			
4	21	9	5	3		17	3		47	6x4	34				4	4		F.O.	
6	30	13	6	3		23	4		66	6x6	36				4	6		F.O.	
8	38	16	8	4		30	6		86	8x4	62				4 < LESS	10		F.O.	
10	45	19	9	5		36	7		103	10x8	35			8	8	29		F.O.	
12	53	22	11	6		43	8		121	10x6	63			6 < LESS	10	45		F.O.	
14	61	26	13	6		50	9		140	12x10	36			6 < LESS	10	45		F.O.	
16	66	28	14	7		55	10		154	12x8	64			12	12	62		F.O.	
18	73	30	15	8		60	11		170	16x12	66			8 < LESS	10	32		F.O.	
20	79	33	16	8		66	12		186	20x18	35			16	16	94		F.O.	
24	79	33	16	8		77	15		185	20x16	66			12	39				
30	93	39	19	10		97	17		222	20x12	117			10 < LESS	10	5			
36	106	39	21	11		107	20		257	24x20	56			20	20	125			
42	117	49	24	12		120	24		289	24x18	80			16	16	76			
48	144	53	26	13		133	26		321	24x16	101			10 < LESS	24	124			
										30x24	78			12 < LESS	24	84			
										36x20	121			30	30	159			
										36x24	141			24	24	104			
										42x36	75			20	20	60			
										42x30	140			16 < LESS	30	5			
										48x42	75			36	36	192			
										48x36	139			16 < LESS	30	142			
														42	42	223			
														36	36	178			
														30	30	124			
														20	24	59			
														16 < LESS	20	5			
														48	48	253			
														42	42	209			
														36	36	162			
														30	30	104			</

DUCTILE IRON PIPE RESTRAINT NOTES:

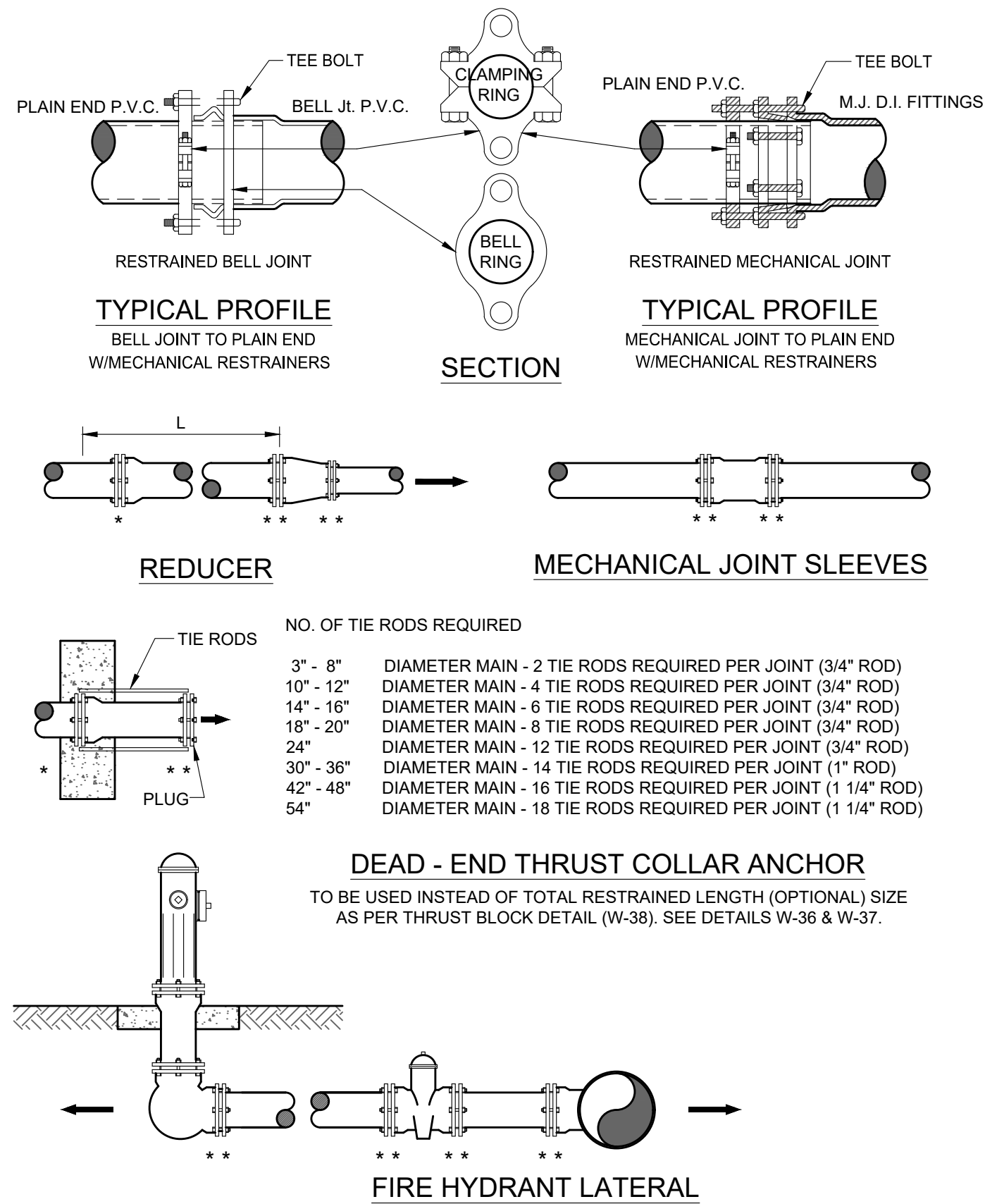
1. THIS SCHEDULE SHALL BE UTILIZED ON ALL WATER, SEWER, FORCE MAIN OR RECLAIMED WATER SYSTEMS. ALL FITTINGS SHALL BE RESTRAINED TO LENGTHS INDICATED ON THE ABOVE SCHEDULE, AT A MINIMUM.
2. ASSUMPTIONS: DUCTILE IRON PIPE (WITHOUT POLY WRAP), SAFETY FACTOR=1.5, TEST PRESSURE=150PSI, SOIL=GM OR SM, TRENCH TYPE 3, DEPTH OF COVER=30 INCHES FOR 20" AND SMALLER PIPE SIZE OR 36 INCHES FOR 24" AND LARGER PIPE SIZE. FOR D.I.P. W/POLY WRAP, USE RESTRAINT JOINT SCHEDULE FOR PVC PIPE.
3. BENDS AND VALVES: SHALL BE RESTRAINED ON EACH SIDE OF FITTING.
4. VERTICAL OFFSETS: ARE APPROX. 3 FEET COVER ON TOP AND APPROX. 8 FEET COVER ON BOTTOM. PER THE DETAILS, L<sub>1</sub> IS THE RESTRAINED LENGTH FOR THE UPPER (TOP) LEVEL, L<sub>2</sub> IS THE RESTRAINED LENGTH FOR THE LOWER (DEEPER) LEVEL. ASSUME 45 DEGREE BENDS.
5. TEES: TOTAL LENGTH BETWEEN FIRST JOINTS OR RESTRAINED LENGTH ON EITHER SIDE OF TEE (RUN) SHALL BE TOTAL DISTANCE OF 30 FEET (MIN). SEE SCHEDULE ABOVE FOR RESTRAINED LENGTH ON TEE "BRANCH" LINE.
6. HDPE TO D.I.P. TRANSITIONS: THE D.I.P. PIPE SIDE SHALL BE RESTRAINED 35 FT (MIN).

[illegible]

## PVC PIPE RESTRAINT JOINT SCHEDULE

JANUARY 2024

PLATE W-31A



GENERAL NOTE:

1. PAY ITEM " " " " DENOTES A RESTRAINT WHICH IS PAID FOR ON A PER EACH BASIS.
2. PAY ITEM " " " " DENOTES A RESTRAINT WHICH IS INCLUDED IN THE UNIT PRICE BID FOR FITTING OR VALVE.
3.  INDICATES DIRECTION OF THRUST FORCE.

## MECHANICAL RESTRAINT DETAILS - I

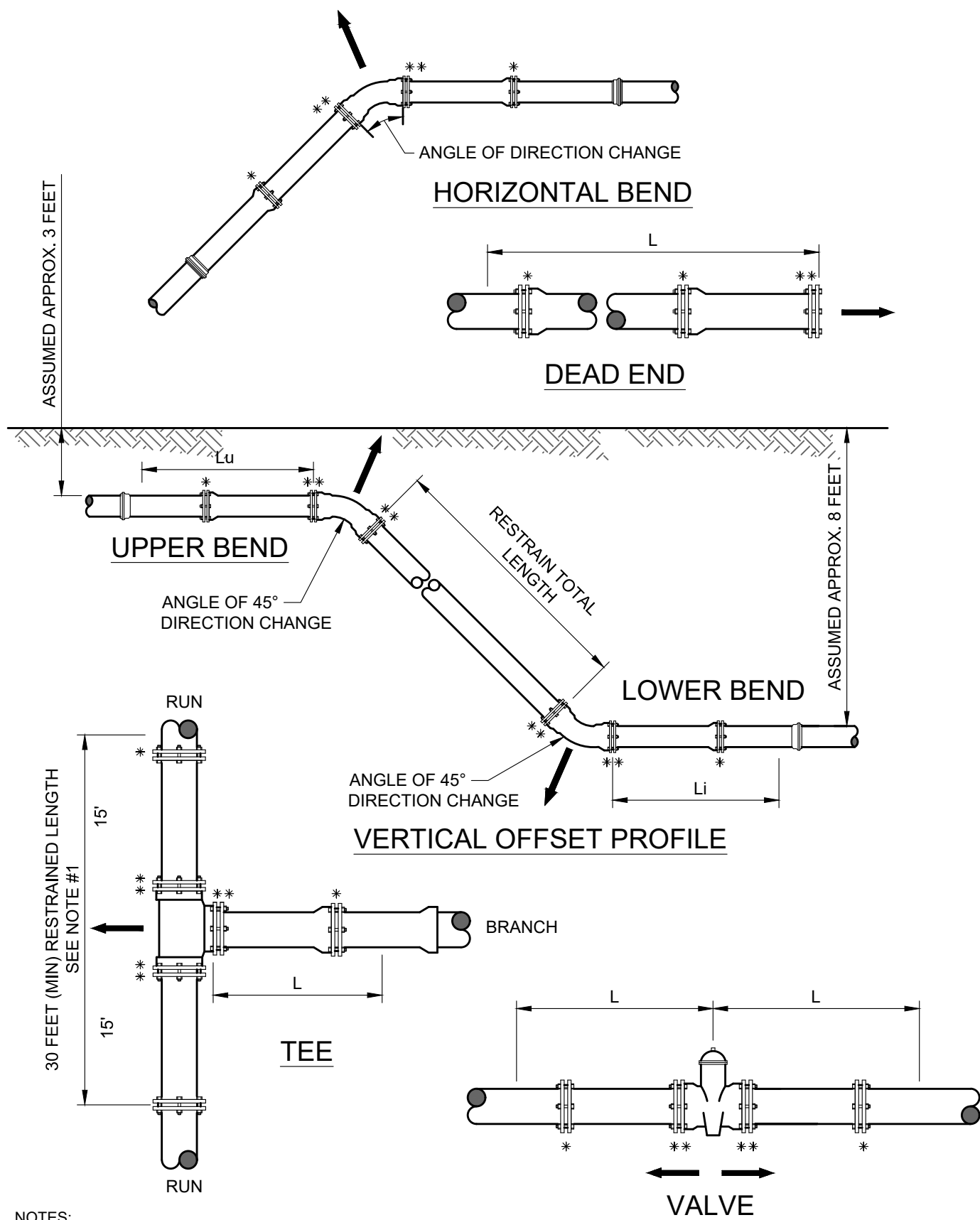
JANUARY 2024

PLATE W-31C

## DUCTILE IRON PIPE RESTRAINT JOINT SCHEDULE

JANUARY 2024

PLATE W -31B



NOTES:

1. TOTAL LENGTH BETWEEN FIRST JOINTS OR RESTRAINED LENGTH ON EITHER SIDE OF TEE (RUN) SHALL BE A TOTAL DISTANCE OF 30 FEET (MIN.).
2. PAY ITEM "" DENOTES A RESTRAINT WHICH IS PAID FOR ON A PER EACH BASIC.
3. PAY ITEM """" DENOTES A RESTRAINT WHICH IS INCLUDED IN THE UNIT PRICE BID FOR FITTING OR VALVE.

## MECHANICAL RESTRAINT DETAILS - II

JANUARY 2024

PLATE W-31D

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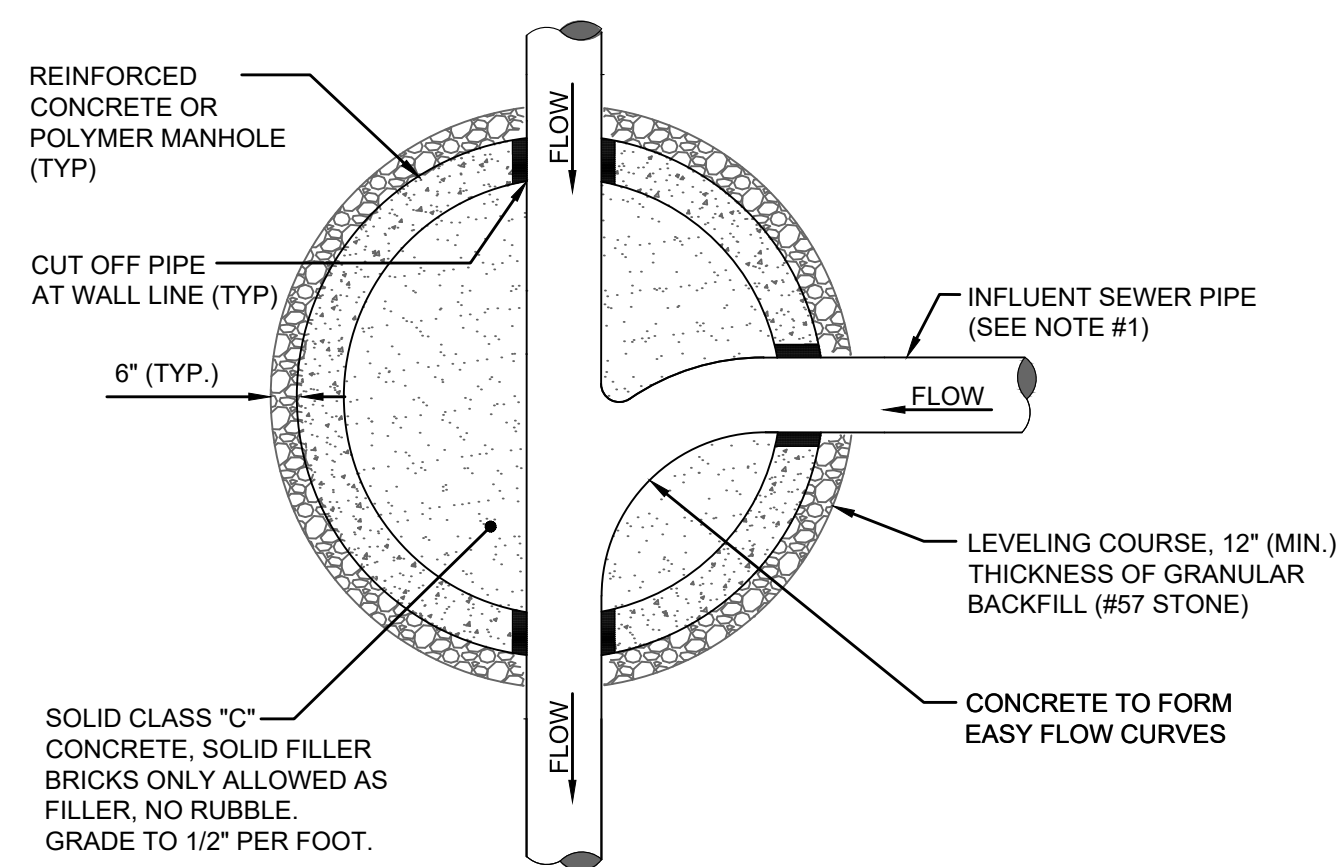
## JEA STANDARD WATER & RECLAIM DETAILS







LIBERTY COVE  
AMENITY CENTER

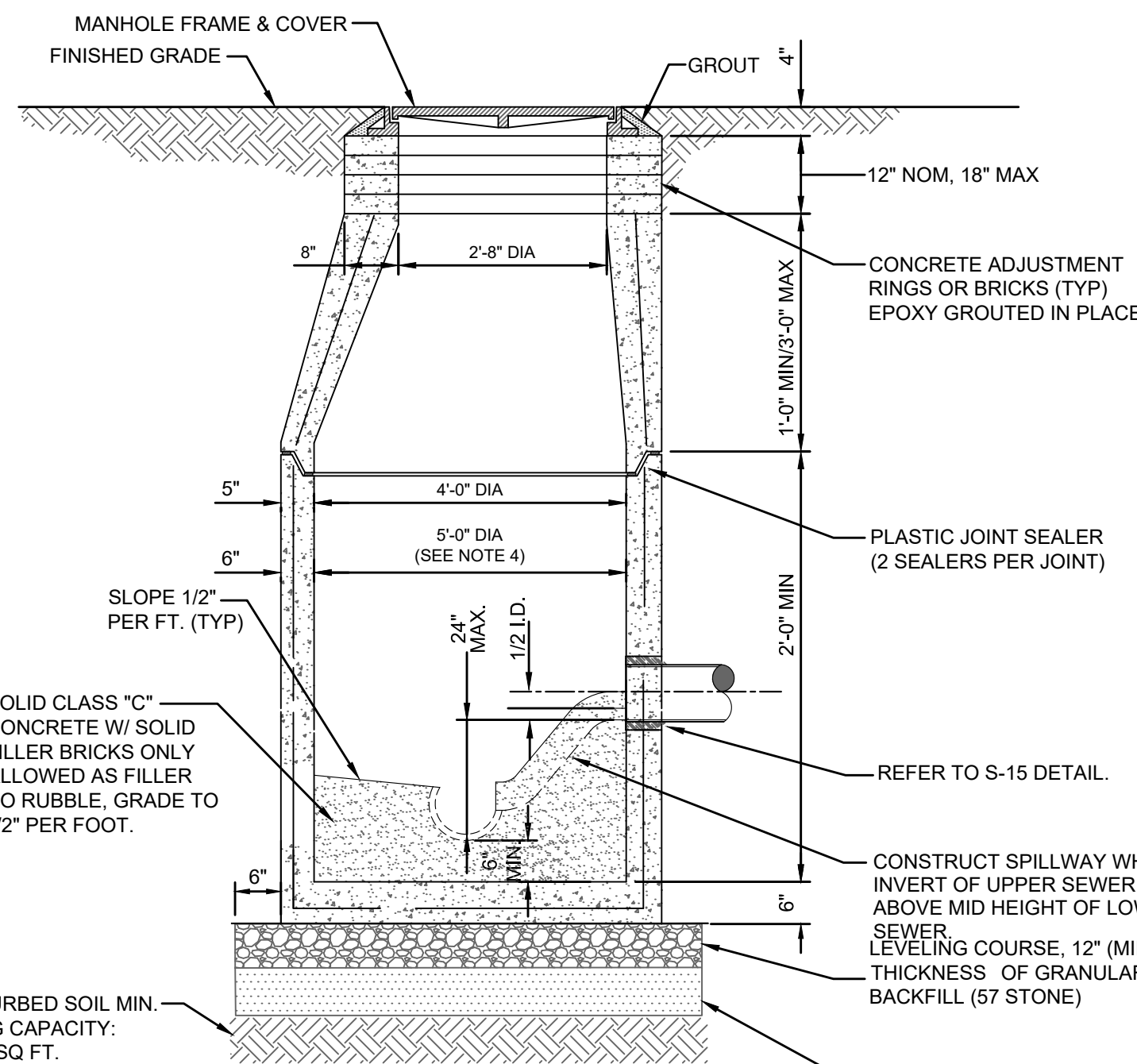


## NOTES

1. THE ANGLE BETWEEN ALL INFLUENT FLOW CHANNELS AND EFFLUENT PIPE SHALL BE BETWEEN 90° - 180° UNLESS OTHERWISE APPROVED BY JEA.

PLAN VIEW (S-3)

(FOR SECTION VIEW SEE S-2, S-2A)



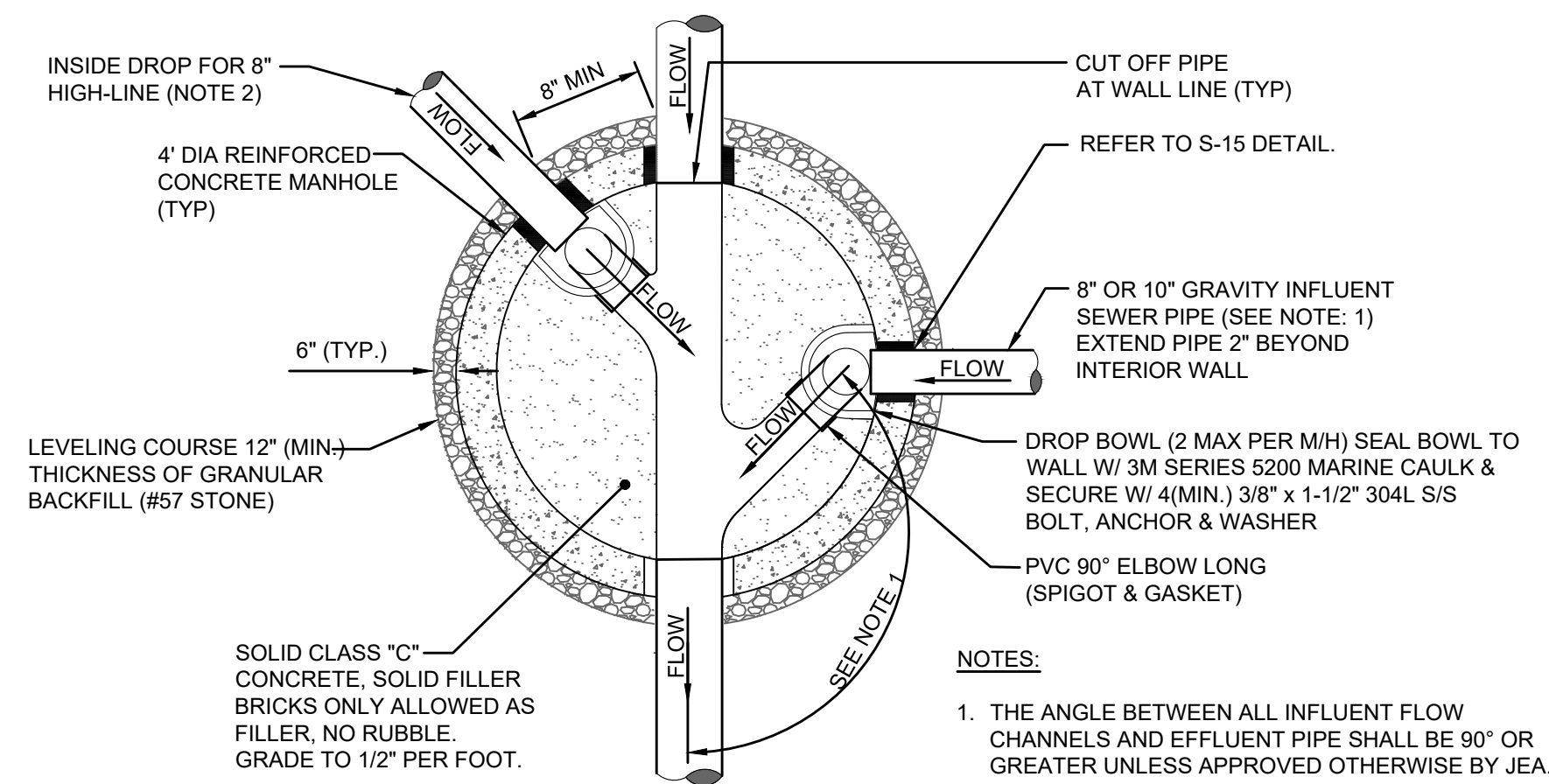
SECTION VIEW (S-2)

(FOR PLAN VIEW SEE S-3)

SANITARY SEWER CONCRETE TYPE "A" MANHOLE  
8"-21" SEWERS

JANUARY 2024

PLATES S-2, S-3

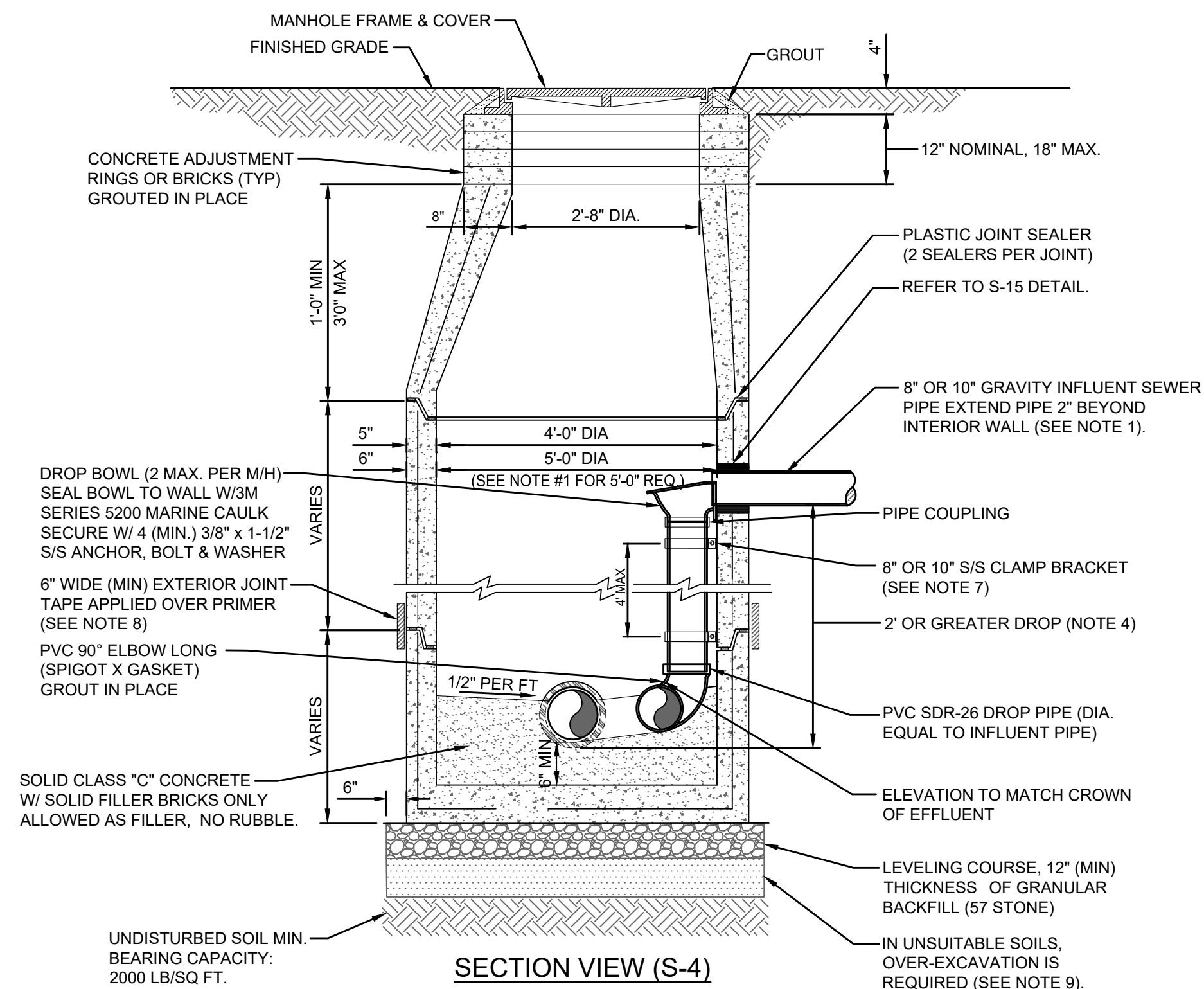


NOTES:

1. THE ANGLE BETWEEN ALL INFLUENT FLOW CHANNELS AND EFFLUENT PIPE SHALL BE 90° OR GREATER UNLESS APPROVED OTHERWISE BY JEA
2. THE 8" HIGH-LINE, WHERE UTILIZED, SHALL ENTER THE MANHOLE OFF-CENTER AS SHOWN ABOVE.

PLAN VIEW (S-5)

(FOR SECTION VIEW SEE S-4)



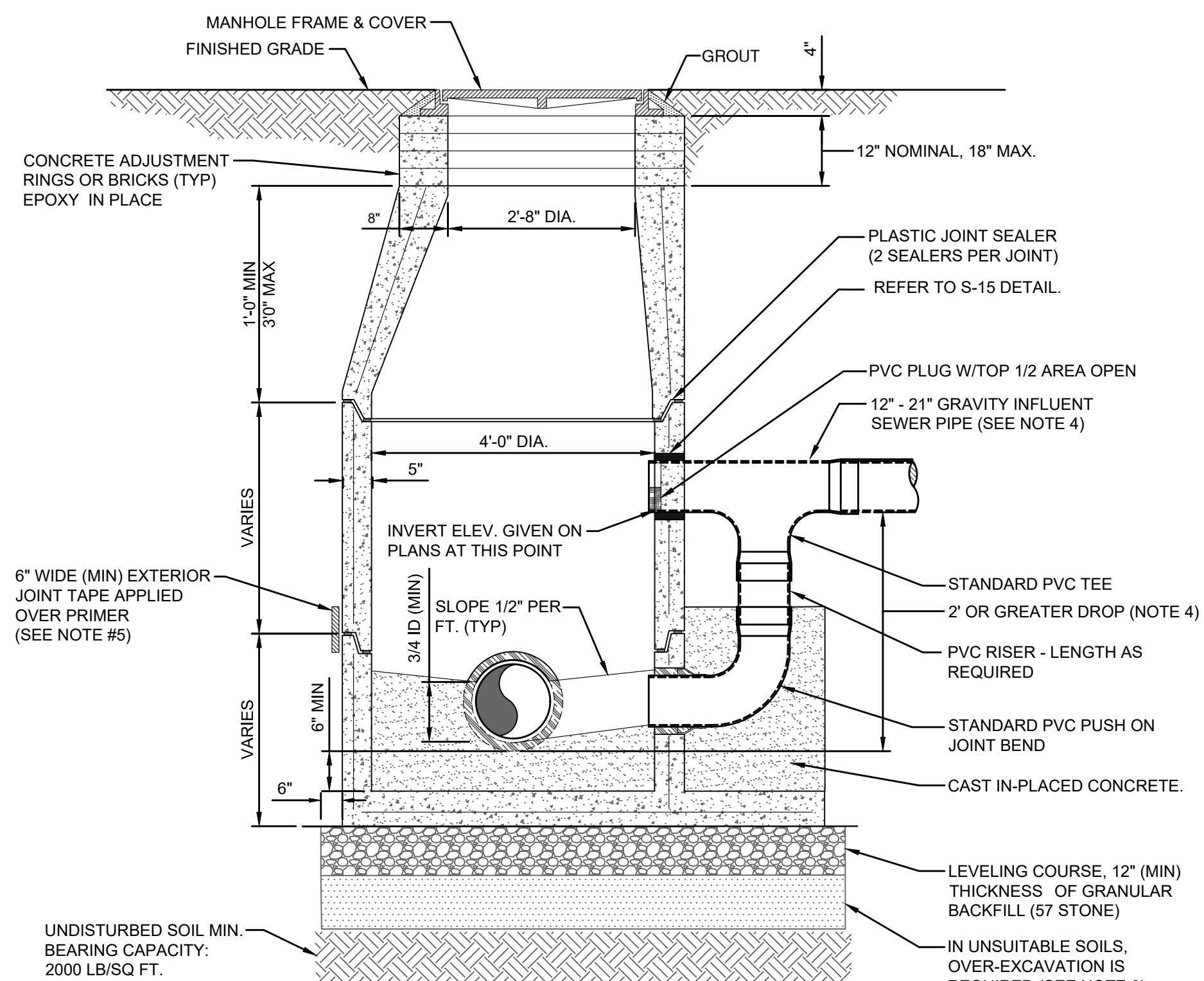
SECTION VIEW (S-4)

(FOR PLAN VIEW SEE S-5)

## SANITARY SEWER CONCRETE TYPE "B" MANHOLE 8"-10" SEWERS

JANUARY 2024

PLATES S-4, S-5



SECTION VIEW (S-7)

(FOR PLAN VIEW SEE S-8)

SANITARY SEWER CONCRETE TYPE "D" MANHOLE  
12"-21" SEWERS

JANUARY 2024

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PLATES S-7, S-8

***PROSSER***

A PRIME<sup>AE</sup> Company

13901 Sutton Park Drive South, Suite 200  
Jacksonville, Florida 32224-0229  
904.739.3655

[www.prosserinc.com](http://www.prosserinc.com)

Florida Certificate of Authorization Number: 00004050

LIBERTY COVE  
NASSAU, LLCLIBERTY COVE  
AMENITY CENTER

DATE : 2024-07-12

PROJECT NO. : 120093.05

DESIGNED BY : NEB

DRAWN BY : KMDW

SCALE : AS NOTED

[illegible]

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SHEET TITLE

# JEA STANDARD SANITARY SEWER DETAILS

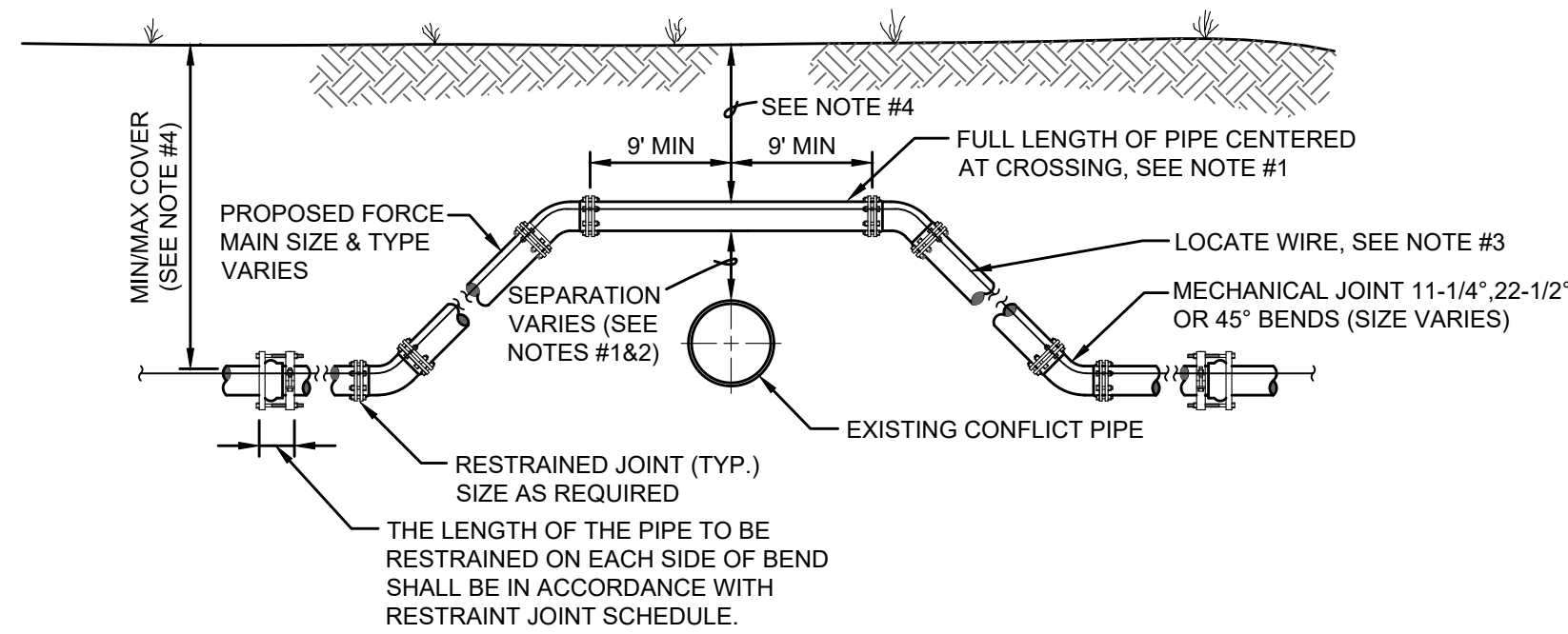
C-8.07

NEAL E. BROCKMEIER, PE  
FL Lic. No. 54561  
DATE:

S H E E T







### CASE "A" CROSSING

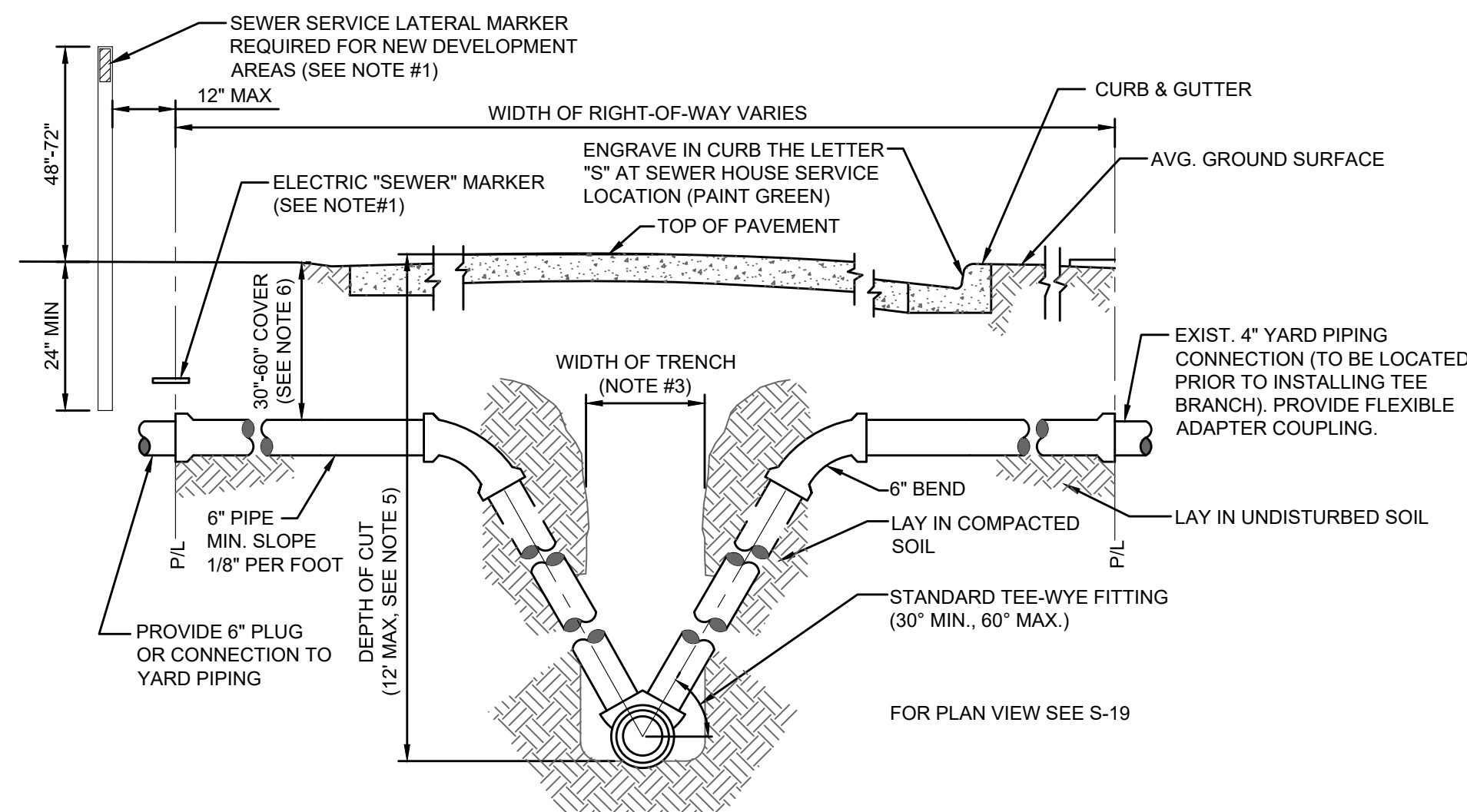
NOTES:

1. IF EXISTING CONFLICT PIPE IS A WATER OR RECLAIMED WATER MAIN, 12-INCHES OF SEPARATION IS REQUIRED. A FULL LENGTH OF PIPE SHALL BE CENTERED OVER EXISTING UTILITY MAIN TO PROVIDE MAXIMUM JOINT SPACING FOR ALL CROSSEINGS.
2. FOR OTHER LOCATION LIMITATIONS SEE DETAIL (S-26 & S-27).
3. LOCATING WIRE REQUIRED- SEE DETAIL S-49.
4. THE COVER FOR PIPING LESS THAN 24" SIZE SHALL BE 30" (MIN) IN UNPAVED AREAS, 36" (MIN) IN PAVED AREAS AND A MAXIMUM COVER OF 60", UNLESS PRE-APPROVED BY JEA. THE COVER FOR PIPING 24" SIZE AND LARGER SHALL BE 36" (MIN) IN PAVED AND UNPAVED AREAS AND A MAXIMUM COVER OF 64", UNLESS APPROVED BY JEA.
5. THE SOILS BETWEEN THE MAIN AND THE CONFLICT PIPE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY THE LABORATORY MODIFIED PROCTOR TEST ASTM D 1557.

## ADJUSTMENT OVER EXISTING UTILITIES MECHANICAL RESTRAINTS

JANUARY 2024

PLATE S-39



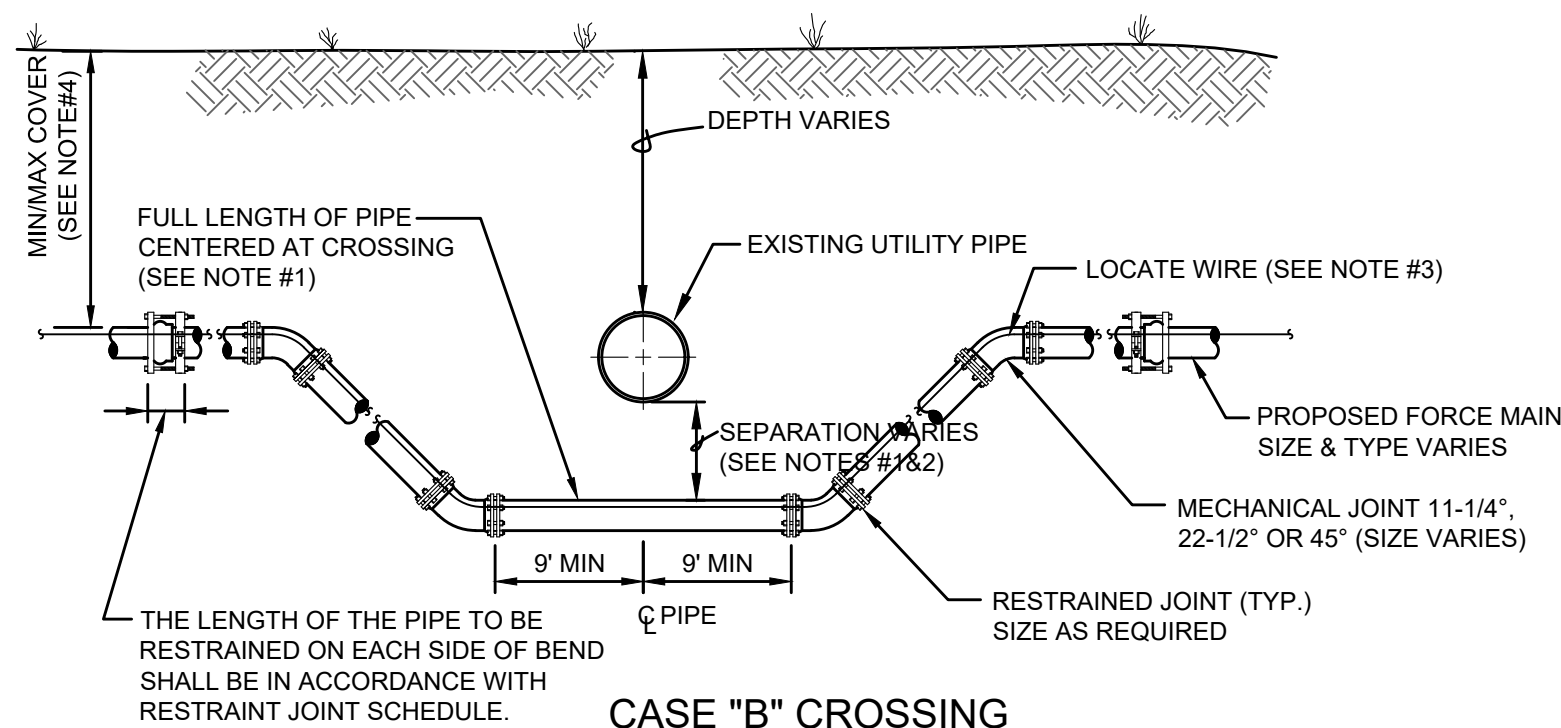
## NOTES

1. TO MARK THE LOCATION OF THE 6" PLUG FOR NEW SERVICE, FOR PROJECTS WHERE NO CONCRETE CURB EXIST, AN ELECTRONIC "SEWER" MARKER IS REQUIRED FOR ALL LATERALS WHICH ARE BEING INSTALL FOR FUTURE USE AT A MAX DEPTH OF 3' AT FINISH GRADE. FOR NEW DEVELOPMENT AREAS WHERE THE SEWER LATERAL IS "NOT IN USE", A LANDSCAPE TIMBER OR 3x3 MIN. P.T. POST (TOP PAINTED GREEN) SHALL BE INSTALLED. WHERE REQUIRED BY JEA OR NO CONCRETE CURB EXIST, AN ELECTRONIC "SEWER" MARKER SHALL BE INSTALLED TO MARKER SHALL ALSO BE INSTALLED.
2. THE MINIMUM SIZE OF ALL HOUSE LATERALS SHALL BE 6 INCHES, THE MAXIMUM LENGTH OF A HOUSE LATERAL SHALL BE 60 FEET (LENGTH BETWEEN SEWER MAIN OR MANHOLE TO CUSTOMERS PROPERTY LINE).
3. SEE MEASUREMENT AND PAYMENT SECTION FOR MAXIMUM PAYMENT WIDTHS.
4. ALL GRAVITY SEWER MAINS AND ASSOCIATED SEWER LATERAL PIPE AND FITTINGS (INCLUDING THE TEE-WYE FITTINGS) SHALL BE PVC SDR-26.
5. UNLESS APPROVED OTHERWISE BY A JEA O&M MANAGER, NO GRAVITY SEWER MAIN WITH SEWER SERVICE LATERALS SHALL BE CONSTRUCTED WITH A "DEPTH OF CUT" GREATER THAN 12 FEET.
6. SEWER SERVICE LATERALS ASSOCIATED WITH GRAVITY SEWER MAINS WHICH ARE DEEPER THAN 12 FEET, MUST BE ROUTED TO A GRAVITY SEWER HIGH-LINE, A MANHOLE OR OTHER JEA APPROVED METHOD.
7. THE SEWER SERVICE LATERAL SHALL BE CONSTRUCTED AT A DEPTH TO ALLOW A GRAVITY CONNECTION BY THE CUSTOMER, WHERE POSSIBLE (CONTINGENT UPON MEETING THE CUSTOMER'S ON-SITE CONDITIONS AND LOCAL CONSTRUCTION STANDARDS), A LATERAL REQUIRING MORE THAN 60" OF COVER MUST BE APPROVED, PRIOR TO CONSTRUCTION, BY JEA.

HOUSE LATERAL - SECTION VIEW

JANUARY 2024

PLATE S-20



### CASE "B" CROSSING

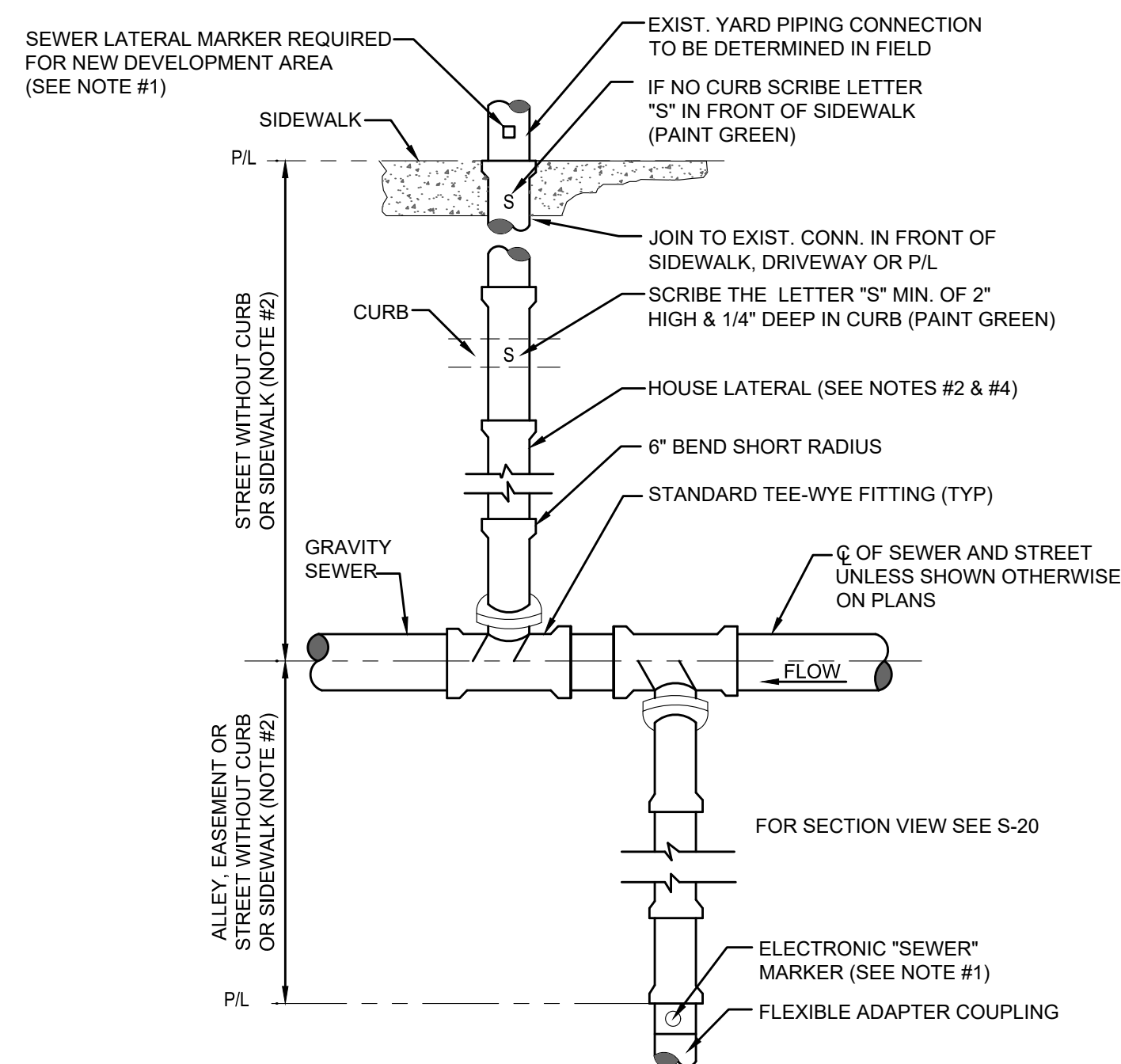
NOTES:

1. IF EXISTING CONFLICT PIPE A WATER OR RECLAIMED WATER MAIN, 12-INCHES OF SEPARATION IS REQUIRED A FULL LENGTH OF PIPE SHALL BE CENTERED OVER EXISTING UTILITY MAIN TO PROVIDE MAXIMUM JOINT SPACING FOR ALL CROSSINGS.
2. FOR OTHER LOCATION LIMITATIONS SEE DETAIL (S-26 & S-27).
3. LOCATING WIRE REQUIRED: SEE DETAIL S-49.
4. THE COVER FOR PIPING LESS THAN 24" SIZE SHALL BE 30" (MIN) IN UNPAVED AREAS, 36" (MIN) IN PAVED AREAS AND A MINIMUM COVER OF 60", UNLESS PRE-APPROVED BY JEA. THE COVER FOR PIPING 24" SIZE AND LARGER SHALL BE 36" (MIN) IN PAVED AND UNPAVED AREAS AND A MINIMUM COVER OF 84", UNLESS APPROVED BY JEA.
5. THE SOILS BETWEEN THE MAIN AND THE CONFLICT PIPE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY THE LABORATORY MODIFIED PROCTOR TEST ASTM D 1557.

## ADJUSTMENT UNDER EXISTING UTILITIES MECHANICAL RESTRAINTS

JANUARY 2024

PLATE S-41



NOTES:

1. TO MARK THE LOCATION OF THE 6" PLUG FOR NEW SERVICE, FOR PROJECTS WHERE NO CONCRETE CURB EXIST, AN ELECTRONIC "SEWER" MARKER IS REQUIRED FOR ALL LATERALS WHICH ARE BEING INSTALL. FOR FUTURE USE AT A MAX DEPTH OF 3' AT FINISH GRADE. FOR NEW DEVELOPMENT AREAS WHERE THE SEWER LATERAL IS "NOT IN USE", A LANDSCAPE TIMBER OR 3/4" MIN. P.T. POST (TOP PAINTED GREEN) SHALL BE INSTALLED. WHERE REQUIRED BY JEA OR NO CONCRETE CURB EXIST, AN ELECTRONIC "SEWER" MARKER SHALL BE INSTALLED TO MARKER SHALL ALSO BE INSTALLED.
2. THE MINIMUM SIZE OF ALL HOUSE LATERALS SHALL BE 6 INCHES. THE MAXIMUM LENGTH OF A HOUSE LATERAL SHALL BE 60 FEET (LENGTH BETWEEN SEWER MAIN OR MANHOLE TO CUSTOMERS PROPERTY LINE).
3. NO SEWER SERVICE CONNECTIONS PERMITTED ON GRAVITY SEWER PIPE WHICH ARE 16" AND LARGER.
4. ALL GRAVITY SEWER MAINS AND ASSOCIATED SEWER LATERAL PIPE AND FITTINGS (INCLUDING THE TEE-WYE FITTING) SHALL BE PVC SDR-26.

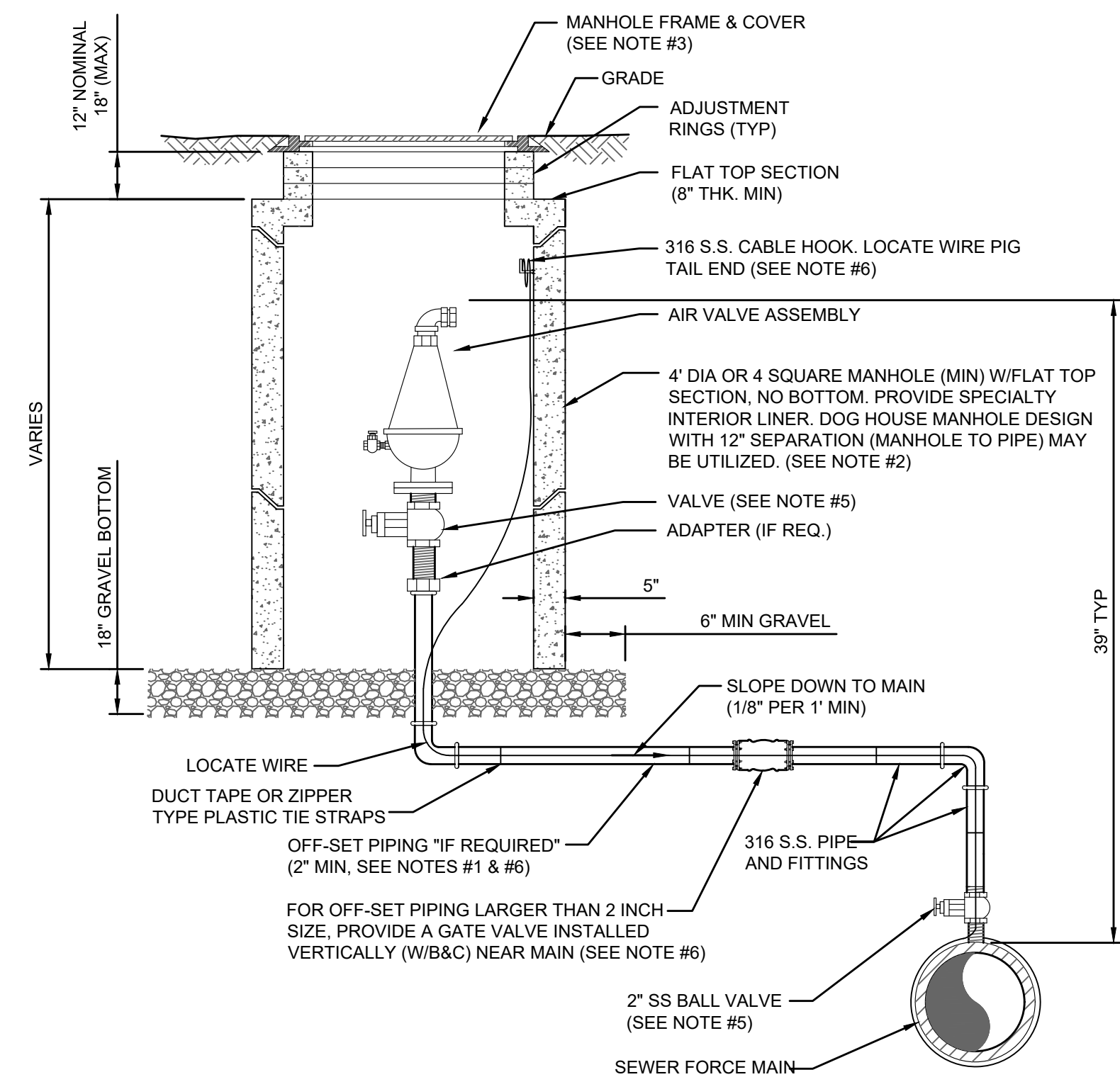
## HOUSE LATERAL - PLAN VIEW

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JANUARY 2024

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PLATE S-19



NOTES:

1. THE AIR ASSEMBLY MANHOLE SHALL BE LOCATED OUTSIDE OF THE ROADWAY PAVEMENT AREA (I.E. LOCATED IN NON-TRAFFIC AREAS). IF OFF-SET PIPING IS REQUIRED, THE PIPING SHALL BE 2 INCH MINIMUM, (SAME SIZE AS AIR VALVE INLET). FOR PIPE SIZES 3 INCH AND SMALLER: PIPING SHALL BE 316 STAINLESS STEEL SCH. 40, STD GRADE, THREADED. FOR PIPE SIZES 4 INCH AND LARGER: PIPING SHALL BE 316 STAINLESS STEEL SCH. 10 (MIN), WELDED OR PVC DR-18 PIPE AND FITTINGS-RESTRAINED.
2. THE CONCRETE MANHOLE SHALL INCLUDE A POLYURETHANE SPECIALTY LINER (PER SPEC SECTION 446) TO BE INSTALLED ON THE INTERIOR SURFACES INCLUDING THE RISER SECTION TOP AND THE ADJUSTMENT RINGS. A BITUMINOUS WATERPROOFING MATERIAL SHALL BE PROVIDED ON THE OUTSIDE SURFACES OF THE MANHOLE.
3. FRAME AND COVER SHALL BE JEA STANDARD. THE COVER SHALL HAVE NO GASKET TO ALLOW AIR TO EXIT VAULT (REMOVE GASKET IF NECESSARY FROM THE UNDER SIDE OF STANDARD JEA COVER). THE COVER (WHEN FLIPPED OPEN) MUST CLEAR THE AIR VALVE ASSEMBLY AT ALL TIMES OR A SQUARE TOP WITH ALUMINUM DOOR SHALL BE PROVIDED (NON-TRAFFIC LOCATIONS ONLY).
4. FOR PIPE SIZES 3 INCH AND SMALLER, PROVIDE A STAINLESS STEEL BALL VALVE (2" MIN) FOR PIPE SIZES 4 INCH AND LARGER, PROVIDE A FLANGE GATE VALVE (WHEEL OPERATOR) OR PLUG VALVE. (LEVER ARM OPERATOR) SEE SPECIFICATION FOR ADDITIONAL REQUIREMENTS.
5. FOR A 2" AIR VALVE, PROVIDE 2" STAINLESS STEEL BALL VALVE AT THE MAIN. FOR AIR VALVES LARGER THAN 2" SIZE, PROVIDE A TAPPING SLEEVE OR DUCTILE IRON TEE FITTING. ALSO, FOR OFF-SET PIPING LARGER THAN 2 INCH SIZE, PROVIDE A GATE VALVE (INSTALLED VERTICALLY NEAR MAIN). SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
6. LOCATE WIRE SHALL HAVE ENOUGH SLACK TO REACH 4' ABOVE FINAL GRADE.

## AIR VALVE ASSEMBLY INSIDE MANHOLE

JANUARY 2024

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PLATE S-29

***PROSSER***

A PRIME<sup>AE</sup> Company

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Jacksonville, Florida 32224-0229  
904.739.3655

[www.prosserinc.com](http://www.prosserinc.com)

Florida Certificate of Authorization Number: 00004050

LIBERTY COVE  
NASSAU, LLCLIBERTY COVE  
AMENITY CENTER

DATE : 2024-07-12  
PROJECT NO. : 120093.05  
DESIGNED BY : NEB  
DRAWN BY : KMDW  
SCALE : AS NOTED

[illegible]

THIS DRAWING NOT RELEASED FOR  
CONSTRUCTION UNLESS SO NOTED ABOVE

SHEET TITLE

## JEA STANDARD SANITARY SEWER DETAILS

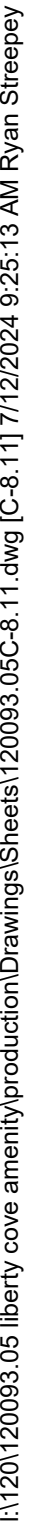
C-8.09

NEAL E. BROCKMEIER, PE  
FL Lic. No. 54561  
DATE:

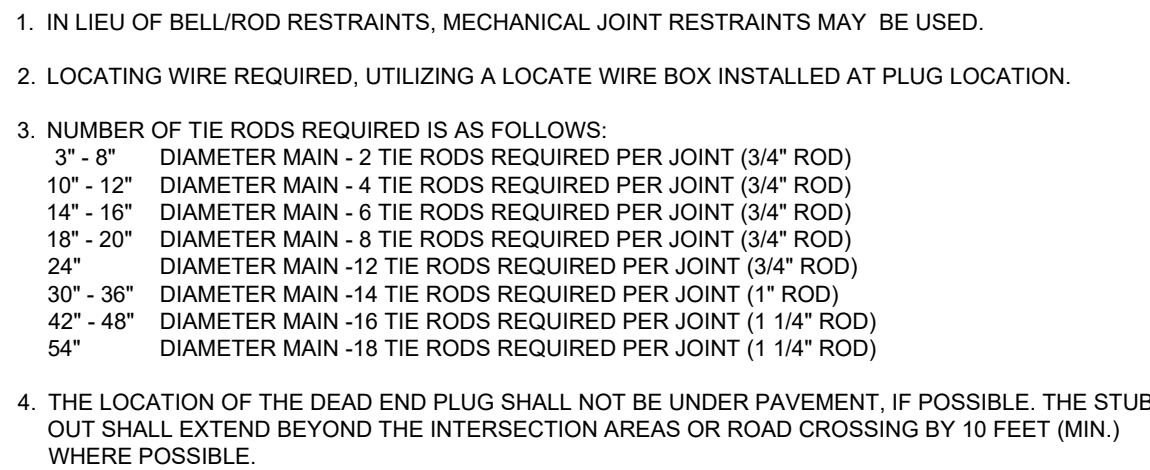
S H E E T





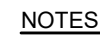


- NOTES:



JANUARY 2024

PLATE S-18



- JANUARY 2024 PLATE S-49

JANUARY 2024 PLATE S-30

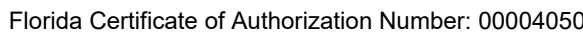


- JANUARY 2024 PLATE S-49A

JANUARY 2024



- JANUARY 2024 PLATE S-49B

LIBERTY COVE  
AMENITY CENTER[illegible]

SHEET TITLE

C-8.11

NEAL E. BROCKMEIER, PE  
FL Lic. No. 54561  
DATE:

S H E E T



NASSAU COUNTY L.D.C.

## MINIMUM LANDSCAPE REQUIREMENTS

## LANDSCAPE BUFFER REQUIREMENTS

THOROUGHFARE TYPE: MAIN STREET TYPE A  
(PER WB CBB SEC. 4.IV. & V.)

LANDSCAPE TYPE: 3 CANOPY TREES PER 100 LF  
3 UNDERSTORY TREES PER 100 LF  
MAIN STREET TYPE A = 333 LF  
333 / 33 = 10 CANOPY TREES / 10 UNDERSTORY TREES REQUIRED  
10 CANOPY TREES PROVIDED/ 10 UNDERSTORY TREES PROVIDED

## PERIMETER LANDSCAPE REQUIREMENTS

THOROUGHFARE TYPE: LOCAL ROAD  
(PER WB CBB SEC. 4.IV. & V.)

LANDSCAPE TYPE:  
2 CANOPY TREES PER 100 LF  
3 UNDERSTORY TREES PER 100 LF

MAIN STREET TYPE A = 220 LF  
220 / 33 = 5 CANOPY TREES REQUIRED / 7 UNDERSTORY TREES  
REQUIRED  
5 CANOPY TREES PROVIDED / 7 UNDERSTORY TREES PROVIDED

## GREENSPACE REQUIREMENTS

PER NASSAU COUNTY CODE OF ORDINANCES LDC. 37.05 SEC 2. C.3  
COMMERCIAL DEVELOPMENTS MUST PROVIDE A MINIMUM OF 10%  
OF THE LOT OR PARCEL AS PVIOUS GREEN SPACE PLANTED  
WITH ONE OR MORE SPECIES OF TREE LISTED IN TABLES 37-1 OR  
37-2 FOR EVERY FIVE HUNDRED (500) SQUARE FEET OF SUCH  
GREEN SPACE.

LOT AREA = 76,048 SF  
REQ. GREEN SPACE = 76,048 SF X .10 = 7,605 SF  
REQ. TREES = 7,605 SF/ 500SF = 15 TREES REQUIRED  
TREES PROVIDED = >15 TREES

## LANDSCAPE NOTES:

1. ALL PLANT MATERIALS SHALL BE "FLORIDA No. 1" OR BETTER AS GRADED BY THE FLORIDA DEPARTMENT OF AGRICULTURE, DIVISION OF PLANT INDUSTRY.
2. ALL PLANTINGS SHALL BE MULCHED TO A MINIMUM OF 3" DEPTH AS INDICATED ON THE LANDSCAPE PLANS.
3. EACH TREE SHALL BE PROVIDED WITH A 3" DIAMETER WALL RING THAT IS NO CLOSER THAN 6" FROM THE TRUNK.
4. PER SECTION 37.02 (F)3 ALL REPLACEMENT NATIVE CANOPY TREES SHALL BE A MINIMUM OF THREE (3) INCHES DBH AT THE TIME OF PLANTING.
5. PER SECTION 37.02 (H)2 ANY NATIVE CANOPY TREES PLANTED TO MEET THE MINIMUM TREE REQUIREMENTS SHALL BE A MINIMUM OF THREE (3) INCHES DBH, TEN (10) FEET TALL, AND FIVE (5) FEET WIDE AT THE TIME OF PLANTING.
6. ALL INVASIVE OR TOXICOUS SPECIES MUST BE REMOVED FROM THE DEVELOPMENT AREA.
7. ALL PLANTING MATERIALS SHALL BE ORDERED FROM REPUTABLE WEBSITES, ETC., AND MUST BE IDENTIFIED BY THE CONTRACTOR.
8. GALLON SIZES FOR PLANT MATERIAL ARE STATED AS THE MINIMUM. IF DIMENSIONS ARE NOT AVAILABLE WITHIN THE SPECIFIED CONTAINER IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE THE DIMENSIONED PLANT MATERIAL IN ANOTHER SIZE POT.
9. CONTRACTOR TO VERIFY ALL QUANTITIES AS SHOWN ON LANDSCAPE PLAN SHEET L-1.00.
10. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE ARGENTINE BAHIA, UNLESS NOTED OTHERWISE.
11. ALL TREES PLANTED WILL BE STAKED OR GUYED FOR A PERIOD OF AT LEAST 6 MONTHS, TO BE REMOVED BY CONTRACTOR BY THE END OF THE WARRANTY PERIOD, SEE PLANTING DETAILS SHEET L-1.02.
12. THE PROPERTY OWNER IS RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE AREAS, INCLUDING IRRIGATION, MOWING, TRIMMING, FERTILIZING, & CARRYING OUT THE ACTIVITIES TO KEEP THE PLANT MATERIAL IN A HEALTHY AND GROWING CONDITION, MAINTAIN VISUAL CLEARANCE, & ALLOW PASSAGE OF VEHICLES & PEDESTRIANS ON PUBLIC ROADS & NON-EXCLUSIVE EASEMENTS.
13. IF EXISTING VEGETATION DOES NOT MEET THE REQUIREMENTS CALLED FOR IN LOC SECTION 37.05, ADDITIONAL LANDSCAPING WILL BE INSTALLED.
14. IRRIGATION NOTE: ALL COMMON AREA LANDSCAPE SHALL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION WATERING SYSTEM IN ACCORDANCE WITH NASSAU COUNTY LAND DEVELOPMENT CODE SECTION 37.05 G.
15. ALL DUMPSTERS, SERVICE AREAS, MECHANICAL EQUIPMENT AND BACK FLOW PREVENTERS SHALL BE PROPERLY SCREENED IN ACCORDANCE WITH SEC. 4.5.2.4 OF THE WILLIAM BURGESS CONTEXT & CONNECTIVITY BLUEPRINT. ALL DUMPSTERS AND SERVICE AREAS (INCLUDING LOADING ZONES) SHALL BE AT THE REAR OR SIDE OF A BUILDING AND SHALL BE SCREENED THROUGH THE USE OF A WALL, WHICH IS 100% OPAQUE, IN CONJUNCTION WITH LANDSCAPING. MINIMUM LANDSCAPING SHALL INCLUDE ONE SHRUB FOR EVERY TWO (2) FEET. THE SHRUBS SHALL BE MAINTAINED AT A MINIMUM OF FOUR (4) FEET IN HEIGHT. ONE (1) CANOPY TREE OR UNDERSTORY TREE PER TEN (10) LINEAR FEET OF WALL OF FENCE UNLESS SAID FENCE OR WALL IS LESS THAN EIGHT (8) FEET IN LENGTH SHALL BE PROVIDED.

IRRIGATION NOTE:

1. LANDSCAPE SHALL NOT BE INSTALLED UNTIL FINAL COUNTY APPROVAL OF IRRIGATION DESIGN PLANS. IRRIGATION PLANS WILL BE COMPLETED BY DESIGN-BUILD CONTRACTOR INSTALLING THE APPROVED LANDSCAPE PLAN.

TREE CALCULATIONS			
TREE	NATIVE	NON-NATIVE	PERCENTAGE
CC6	4		9.76
IC3	8		19.51
IP4	6		14.63
LI6		8	19.51
LI8		5	12.20
LS4	4		9.76
QV4	10		24.39
TOTAL PERCENTAGE	NATIVE	NON-NATIVE	TOTAL TREES
	28	13	41
	68.3	31.7	

## PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	SPACING	ORIGIN	REMARKS
<b>TREES</b>						
CC6	4	CERCIS CANADENSIS MULTI-TRUNK, 2" CAL. X 3 BRANCHES	EASTERN REDBUD MULTI-TRUNK	SEE PLAN	NATIVE	MULTI-TRUNK, 2" CAL. X 3 BRANCHES
IC3	8	ILEX CASSINE 3" CALP., 12' HT. X 4' SPRD., FULL.	DAHOON HOLLY	SEE PLAN	NATIVE	3" CALP., 12' HT. X 4' SPRD., FULL.
IP4	6	ILEX VOMITORIA 'PENDULA' 4" CALP., 10' HT. X 3' SPRD., FULL., MULTI	WEeping YAUPON HOLLY	SEE PLAN		4" CALP., 10' HT. X 3' SPRD., FULL., MULTI
LI6	8	LAGERSTROEMIA X 'NATCHEZ' (3) 1.5" TRUNKS MIN., 12' HT. X 6' SPRD., MULTI-TRUNK	WHITE CRAPE MYRTLE MULTI-TRUNK	SEE PLAN	NON-NATIVE	(3) 1.5" TRUNKS MIN., 12' HT. X 6' SPRD., MULTI-TRUNK
LIG	5	LIGUSTRUM JAPONICUM 10' HT. X 10' SPRD., 4' CLEAR TRUNK MINIMUM	JAPANESE PRIVET	SEE PLAN	NON-NATIVE	10' HT. X 10' SPRD., 4' CLEAR TRUNK MINIMUM
LS4	4	LIQUIDAMBAR STYRACIFLUA 4" CALP., 15' HT. X 5' SPRD., FULL	SWEET GUM	SEE PLAN	NATIVE	4" CALP., 15' HT. X 5' SPRD., FULL
QV4	10	QUERCUS VIRGINIANA 4" CALP., 12' HT. X 6' SPRD., 4' CT., FULL	SOUTHERN LIVE OAK	SEE PLAN	NATIVE	4" CALP., 12' HT. X 6' SPRD., 4' CT., FULL
<b>SHRUBS</b>						
POD	71	PODOCARPUS MACROPHYLLUS 7 GAL., 4' HT. X 30" SPRD., FULL PLANT TO GROUND	YEW PODOCARPUS	36" O.C.	NON-NATIVE	7 GAL., 4' HT. X 30" SPRD., FULL PLANT TO GROUND
RAM	4	RHAPHIOLEPIS X 'MONTIC' 6' HT. X 5' SPRD. STD. TREE FORM.	MAJESTIC BEAUTY® INDIAN HAWTHORN	A.S.	NON-NATIVE	6' HT. X 5' SPRD. STD. TREE FORM.
VOS	153	VIBURNUM OBOVATUM 'MISS SHILLERS DELIGHT' 3 GAL., 16" HT. X 12" SPRD.	MISS SHILLERS DELIGHT	24" O.C.	NATIVE	3 GAL., 16" HT. X 12" SPRD.
VSU	77	VIBURNUM SUSPENSUM 3 GAL., 24" HT. X 24" SPRD.	SANDANKWA VIBURNUM	36" O.C.	NON-NATIVE	3 GAL., 24" HT. X 24" SPRD.
<b>SHRUB AREAS</b>						
DCA	91	DIANELLA CAERULEA 'VARIEGATA' 3 GAL. 18" HT. X 18" SPRD.	BLUE FLAX LILY	24" O.C.	NON-NATIVE	3 GAL. 18" HT. X 18" SPRD.
JCO	71	JUNIPERUS CHINENSIS 'PARSONII' 3 GAL., 12" HT. X 14" SPRD., FULL	PARSONI JUNIPER	30" O.C.	NON-NATIVE	3 GAL., 12" HT. X 14" SPRD., FULL
ROS X	76	ROSA X 'RADTKO' 3 GAL., 18" HT. X 16" SPRD., FULL	DOUBLE KNOCK OUT ROSE	24" O.C.	NON-NATIVE	3 GAL., 18" HT. X 16" SPRD., FULL
<b>GROUND COVERS</b>						
LMU	677	LIRIOPE MUSCARI 'BIG BLUE' 1 GAL., 12" HT. X 12" SPRD., FULL	BIG BLUE LILYTURF	16" O.C.	NON-NATIVE	1 GAL., 12" HT. X 12" SPRD., FULL
ANN	258	MIXED ANNUALS 4" POTS, ANNUALS TO BE SELECTED	MIXED ANNUALS	12" O.C.	NON-NATIVE	4" POTS, ANNUALS TO BE SELECTED
<b>MULCH &amp; FERTILIZERS</b>						
FER		FERTILIZER A REFER TO SPECIFICATIONS, SEE PART D & E. NOTE 1 & 2.		SQ. FT.		REFER TO SPECIFICATIONS, SEE PART D & E. NOTE 1 & 2.
MULCH		MULCH PINE STRAW 3" DEPTH IN ALL PLANTING BEDS		SQ. FT.		3" DEPTH IN ALL PLANTING BEDS
PRE-EM		PRE-EMERGENT REFER TO SPECIFICATIONS, SEE PART D & E, NOTES 1 & 2.		SQ. FT.		REFER TO SPECIFICATIONS, SEE PART D & E, NOTES 1 & 2.
<b>SOD/SEED</b>						
SOD B		PASPALUM NOTATUM 'ARGENTINE' 2" -3" THICK SOLID, FRESHLY CUT, WEED FREE	ARGENTINE BAHIA GRASS	SOD	NON-NATIVE	2" -3" THICK SOLID, FRESHLY CUT, WEED FREE
SOD Z		ZOYSIA JAPONICA 'EMERALD' 2" THICK SOLID, FRESHLY CUT, WEED FREE. PLACE SOD IN TIGHT STAGGERED JOINTS	EMERALD ZOYSIA	SQ. FT.	NON-NATIVE	2" THICK SOLID, FRESHLY CUT, WEED FREE. PLACE SOD IN TIGHT STAGGERED JOINTS

NASSAU COUNTY NOTES:

3. LDC SECTION 37.05 (B) - PLANT MATERIAL. ALL INSTALLED TREES, SHRUBS AND GROUNDCOVERS SHALL CONFORM TO THE STANDARDS FOR FLORIDA GRADE #1 OR BETTER ACCORDING TO THE CURRENT EDITION OF "GRADES AND STANDARDS FOR NURSERY PLANTS" PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, DIVISION OF PLANT INDUSTRY.
2. LDC SECTION 3705(B)(1) - ALL TREES SHALL BE PLANTED IN A MINIMUM DIMENSION OF TEN (10) FEET. THIS MINIMUM PLANTING AREA MUST BE FREE OF ALL PAVEMENT AND VEHICLE OVERHANG IN ORDER TO PREVENT POSSIBLE TREE DAMAGE.
3. LDC SECTION 37.05 (B)(2) - SHRUBS SHALL HAVE A MINIMUM HEIGHT OF EIGHTEEN (18) INCHES WHEN PLANTED. WHEN PLANTED AS A HEDGE, THE MAXIMUM SPACING IS 30 INCHES ON CENTER. ALL SHRUBS USED FOR VISUAL SCREENING SHALL BE OF A PLANT SPECIES THAT IS CAPABLE OF REACHING A HEIGHT OF FOUR (4) FEET WITHIN TWENTY-FOUR (24) MONTHS UNDER NORMAL GROWING CONDITIONS. SHRUBS USED AS ACCENT GROUND COVER AND VINES MAY VARY IN SIZE DEPENDING ON THE TYPE OF PLANT MATERIAL AND THE DESIRED EFFECT.
4. LDC SECTION 37.05 (B)(3) - GROUNDCOVERS SHALL BE PLANTED IN SUCH MANNER AS TO PRESENT A FINISHED APPEARANCE AND COMPLETE COVERAGE WITHIN ONE (1) YEAR AFTER PLANTING.
5. LDC SECTION 37.05 (B) - ALL TREES PLANTED SHALL BE STAKED OR GUYED FOR A PERIOD OF AT LEAST SIX (6) MONTHS IN ACCORDANCE WITH THE ADOPTED PLANTING DETAIL.
6. LDC SECTION 37.05 (H)(4) - ALL PLANTING AREAS SHALL BE MULCHED WITH APPROXIMATELY THREE INCHES OF ORGANIC MULCH, SUCH AS PINE BARK OR SHREDDED HARDWOOD CHIPS.
7. LDC SECTION 37.05 (K) - THE PROPERTY OWNER IS RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE AREAS REQUIRED BY THIS SECTION. MAINTENANCE INCLUDES IRRIGATING, MOWING, TRIMMING, FERTILIZING AND CARRYING OUT THOSE ACTIVITIES NECESSARY TO KEEP THE PLANT MATERIAL IN A HEALTHY AND GROWING CONDITION, MAINTAIN VISUAL CLEARANCE AND ALLOW PASSAGE OF VEHICLES AND PEDESTRIANS ON PUBLIC ROADS AND NON-EXCLUSIVE EASEMENTS.
8. LDC SECTION 37.05 (K)(1) - UPON DETERMINATION BY THE COUNTY THAT A REQUIRED TREE OR PLANT IS DEAD OR SEVERELY DAMAGED OR DISEASED, THE TREE OR PLANT SHALL BE REPLACED BY THE OWNER WITH PLANT MATERIAL MEETING THE REQUIREMENTS OF THIS SECTION.
9. LDC SECTION 37.05 (K)(2) - ALL BUFFER AREAS REQUIRED AS PART OF A DEVELOPMENT PLAN, WHETHER IN COMMON OR PRIVATE OWNERSHIP, SHALL BE THE RESPONSIBILITY OF THAT DEVELOPMENT'S PROPERTY OWNERS' ASSOCIATION. WHERE THERE IS NO PROPERTY OWNERS' ASSOCIATION, SUCH LANDSCAPED AREAS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
10. LDC SECTION 37.05 (K)(3) - TREES ON DEVELOPED PROPERTIES MAY BE PRUNED TO MAINTAIN SHAPE AND PROMOTE THEIR SHADE-GIVING QUALITIES. THEY SHOULD BE PRUNED TO REMOVE DISEASED OR DYING PORTIONS IN AREAS WHERE FALLING LIMBS COULD BE A HAZARD TO PEOPLE OR PROPERTY. LOWER LIMBS MAY BE REMOVED TO PROVIDE CLEARANCE. IN ADDITION, TREES LOCATED IN ASSOCIATION WITH VEHICULAR USE AREAS SHALL ALSO BE PRUNED TO ALLOW A SEVEN-FOOT CLEARANCE FROM GROUND LEVEL TO AVOID POTENTIAL FOR DAMAGE OR INJURY TO PEDESTRIANS AND CLEARED TO THIRTEEN (13) ABOVE PAVEMENT LEVEL FOR VEHICLES. HOWEVER, THE EXCESSIVE PRUNING OR POLLARDING OF TREES INTO ROUND BALLS OF CROWN OR BRANCHES RESULTING IN AN UNNECESSARY REDUCTION OF SHADE IS PROHIBITED AND MAY REQUIRE SUPPLEMENTAL PLANTINGS. ALL PRUNING SHALL BE DONE FOLLOWING THE AMERICAN NATIONAL STANDARD FOR TREE CARE OPERATIONS "TREE, SHRUB AND OTHER WOODY PLANT MAINTENANCE - STANDARD PRACTICES."
11. LDC SECTION 37.05 (E)(1) - AT THE INTERSECTION OF TWO (2) STREETS, ALL LANDSCAPING WITHIN THAT AREA DEFINED BY THE FLORIDA DEPARTMENT OF TRANSPORTATION SIGHT TRIANGLE, AS OUTLINED IN THE FDOT DESIGN STANDARDS FOR DESIGN, CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS ON THE STATE HIGHWAY SYSTEM SHALL BE INSTALLED AND MAINTAINED BELOW THREE (3) FEET IN HEIGHT OR ABOVE EIGHT (8) FEET IN HEIGHT.
12. LDC SECTION 37.05 (E)(2) - WHEN A DRIVEWAY INTERSECTS A RIGHT-OF-WAY, CLEAR UNOBSTRUCTED CROSS VISIBILITY SHALL BE PROVIDED WITHIN THE SITE TRIANGLE FORMED BY SUCH INTERSECTION. THE SIGHT TRIANGLE SHALL BE MEASURED FROM THE POINT OF INTERSECTION, FIFTEEN (15) FEET ALONG THE ACCESS WAY AND THEN FIFTEEN (15) FEET ALONG THE RIGHT-OF-WAY, WITH THE THIRD SIDE BEING A LINE CONNECTING THE TWO (2) POINTS. CROSS VISIBILITY WITHIN THE SIGHT TRIANGLE SHALL BE UNOBSTRUCTED BETWEEN THE HEIGHT OF THREE (3) FEET AND EIGHT (8) FEET MEASURED FROM THE GROUND LINE. TREES AND PALMS SHALL HAVE THEIR LIMBS AND FOLIAGE TRIMMED IN A MANNER THAT NO LIMBS OR FOLIAGE WILL EXTEND INTO THE CROSS VISIBILITY AREA. TO ENSURE PROPER VISIBILITY AT THE INTERSECTION OF ACCESS WAYS WITH PUBLIC RIGHTS-OF-WAY, EXCLUDING PROPERLY TRIMMED TREES AS PREVIOUSLY STATED; ONLY GROUND COVER TYPE PLANTS SHALL BE ALLOWED WITHIN THE SIGHT TRIANGLE.
13. LDC SECTION 37.05 (D) - THE USE OF A WALL OR FENCE IS PERMITTED PROVIDED THE WALL OR FENCE IS LOCATED ON THE INNER MOST BOUNDARY (BEHIND THE VEGETATION AS VIEWED FROM OUTSIDE THE DEVELOPMENT) OF THE PERIMETER LANDSCAPING ADJACENT TO RIGHTS-OF WAY/STREETS, REQUIRED UNCOMPLIMENTARY LAND USE BUFFER OR OTHER LANDSCAPED AREA.



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Florida Certificate of Authorization Number: 00004050

LIBERTY COVE  
NASSAU, LLC

LIBERTY COVE  
AMENITY CENTER

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2022-05-16 prsr\_plan-AnsiD-brd  
2020-05-18 prsr\_plan-AnsiD-thk

DATE : 2024-07-12

PROJECT NO. : 120093.05

DESIGNED BY : PSM

DRAWN BY : CDC

SCALE : AS NOTED

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SHEET TITLE

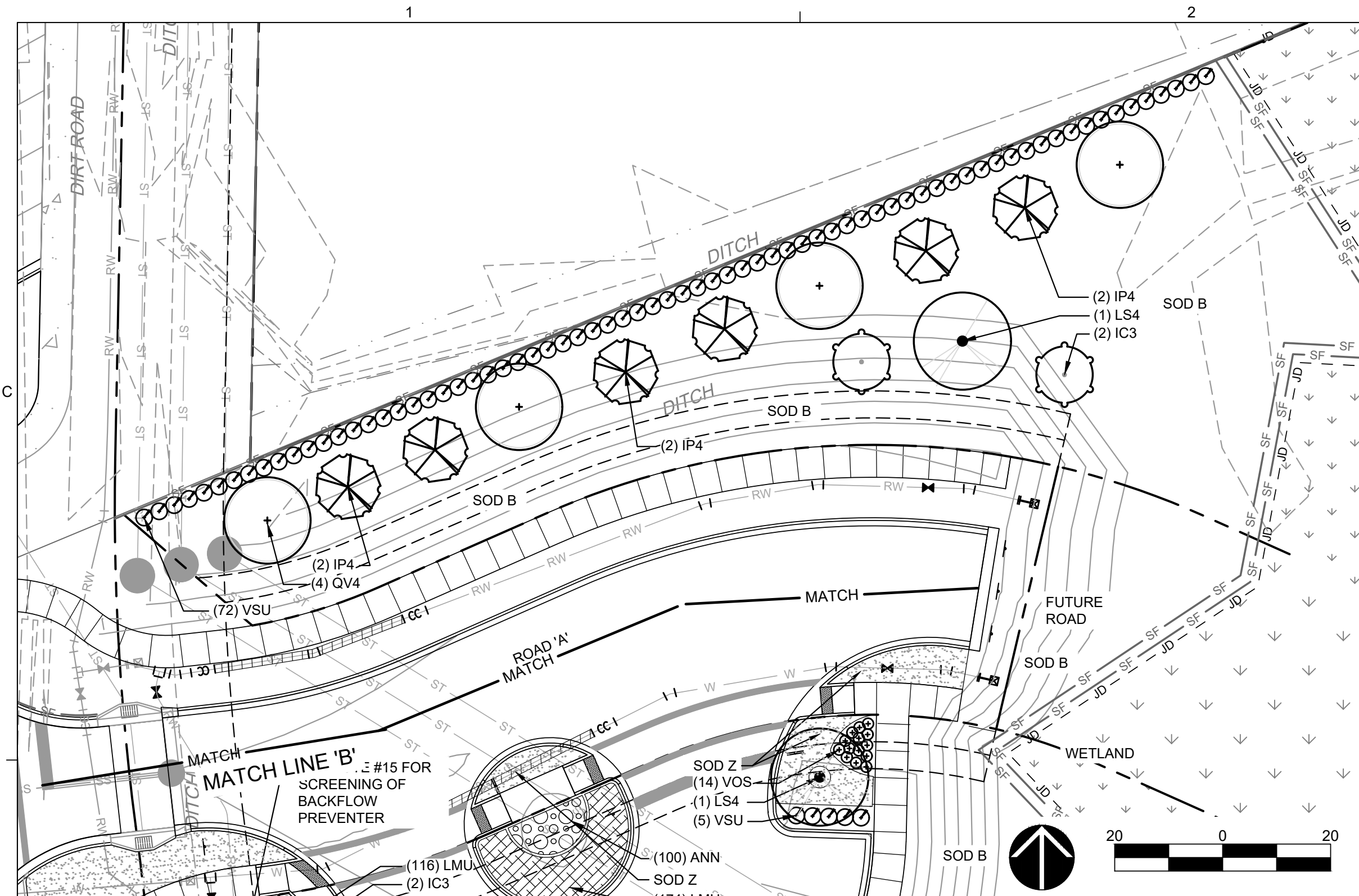
## LANDSCAPE SCHEDULE, NOTES & CALCULATIONS

L-1.00

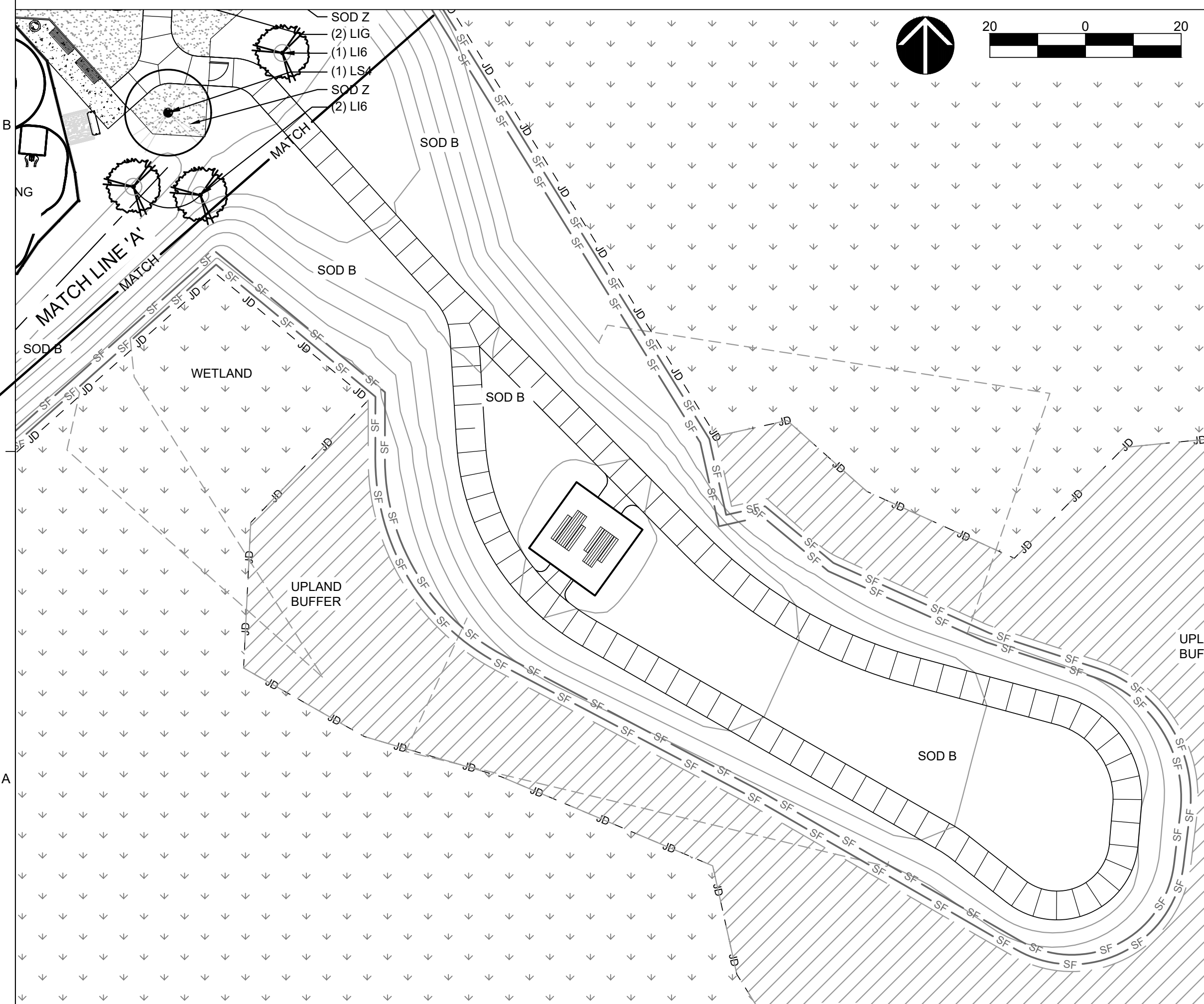
PAUL S. MOSS, JR.  
FL Lic. No. LA 1165  
DATE:

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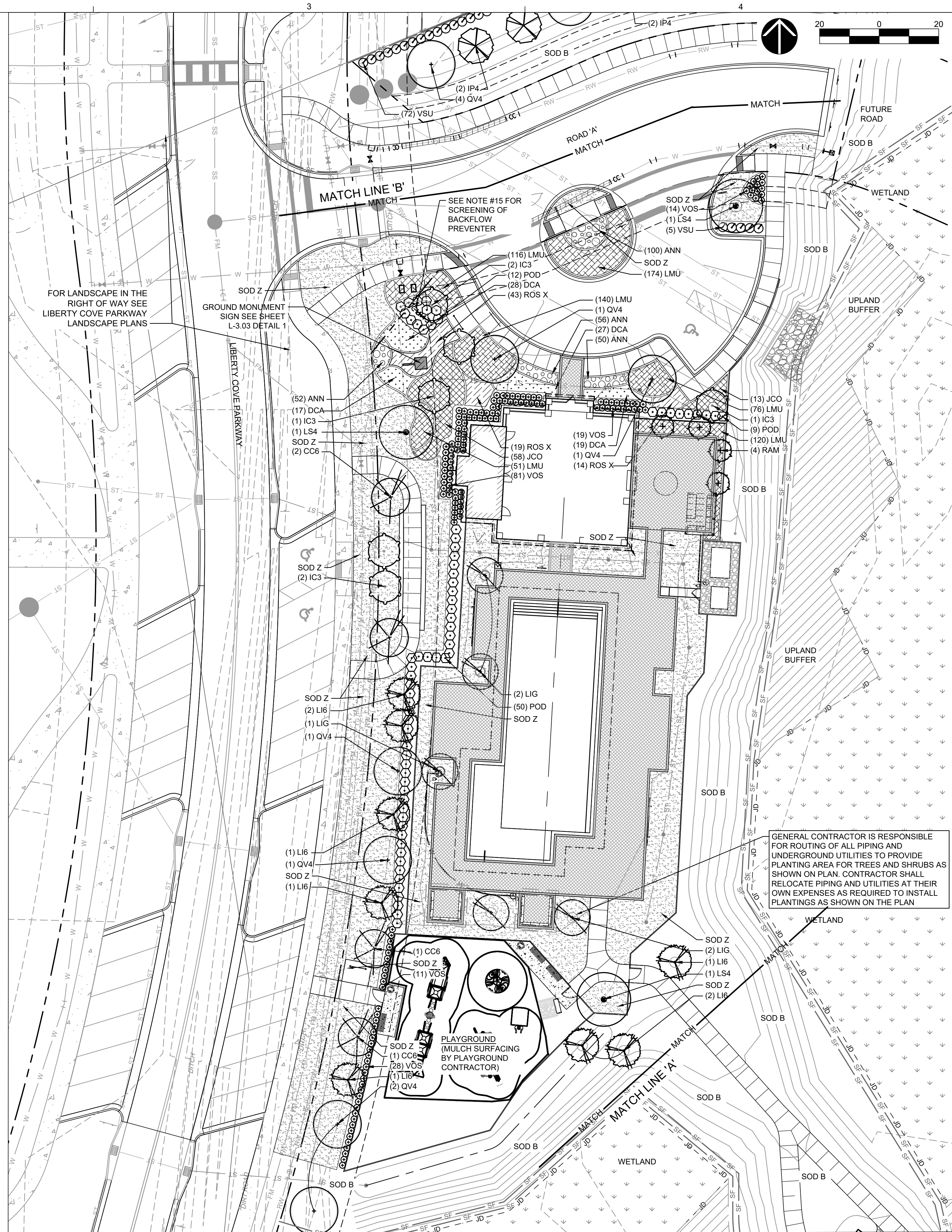




**B LANDSCAPE PLAN - MATCHLINE 'B'**



LANDSCAPE PLAN - MATCHLINE 'A'



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3901 Sutton Park Drive South, Suite 200  
Jacksonville, Florida 32224-0229  
904.739.3655

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Florida Certificate of Authorization Number: 00004050

LIBERTY COVE  
NASSAU, LLCLIBERTY COVE  
AMENITY CENTER

DATE : 2024-07-12  
PROJECT NO. : 120093.05  
DESIGNED BY : PSM  
DRAWN BY : CDC  
SCALE : AS NOTED

[illegible]

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SHEET TITLE

LANDSCAPE PLAN

L-1.01

PAUL S. MOSS, JR.  
FL Lic. No. LA 1165  
DATE:

SHEET





- NTS



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LANDSCAPE DETAILS

LANDSCAPE SPECIFICATIONS

PART 1- GENERAL

- 1.1 GENERAL NOTES
- A. Contractor shall comply with applicable laws, ordinances and codes; obtain required permits, inspections; pay required fees.
- B. Prior to preparing and submitting cost proposal, Bidder shall visit and inspect the project site to become familiar with existing conditions.
- C. This contract includes providing and installing plant and landscape materials as described within the contract documents.
- D. Contractor shall perform fine grading to establish finish grades in landscape areas. Fine grading shall include only minor grading to correct random or infrequent grade irregularities to 1" or less.
- E. Grading-Berming labeled on the project plans shall be the responsibility of the landscape contractor to construct. Landscape contractor shall provide fill and grading for these areas and coordinate fill requirements with general contractor prior to bidding.
- F. Bidder-Contractor shall verify all plant quantities shown on plans. Notify Landscape Architect-Owner's Representative of discrepancies.
- G. Plant size noted in plant schedule shall be the minimum acceptable size. Container gallon size are minimum. Contractor shall provide the plant material in container size needed to meet plant size specified.
- 1.2 DEFINITIONS
- A. Finish Grade: Top of surface soil and top of planting bed after plant installation.
- B. Topsoil: Native or imported surface soil modified with soil amendments per recommendations from commercial soil-testing laboratory.
- C. Compost Mix: Homogeneously blended organic material, see Part 2 - Products.
- D. Subgrade: Soil below finish grade and soil below finish grade remaining after completing excavation.
- E. Final Acceptance: Shall mean that point in time when requirements of contract documents are completed, including punch-list items, to the satisfaction of the Landscape Architect-Owner's Representative. Contractor will be notified in writing of final acceptance by Landscape Architect-Owner's Representative.
- F. Warranty Period: Shall begin after notification of final acceptance, continuing for the duration of the specified period.
- G. Final Warranty Inspection: Shall occur near the end of the warranty period.
- H. Contract Documents: Project plan set, technical specifications and documentation issued during project bidding, award and installation.

- 1.3 SUBMITTALS
- B. Product Data: Each type of product utilized
- C. Samples: Pine Bark
- D. Product certificates, confirmation letter that the Contractor has procured all plant materials and products to complete the project plans.
- E. Planting Schedule: Indicating anticipated installation dates.
- F. Maintenance Instructions: Provide prior to final acceptance.
- G. Agronomic Soil Tests for Topsoil and Compost Mix: Soil testing and recommendations shall be performed by a commercial soil-testing laboratory. Areas to be installed with plants and lawn areas shall be tested. Tests shall include a fertility test, pH factor, percentage of organic matter and a suitability analysis. The suitability analysis shall include percolation tests and evaluation of soil composition to determine the soil's suitability to sustain the project's plant materials and to bring the soil to a pH rating between 5.5 to 6.5. Submit copy to Landscape Architect-Owner's Representative of soil tests, written recommendations for soil suitability, soil amendments, fertilizer, chemical conditioner application rates for soil preparation, and a maintenance fertilization program.
- H. Manufacturer's Data: Include physical characteristics, application, installation instructions and recommendations to be utilized.
- I. Fertilizer
- J. Each soil amendment to be used
- K. Herbicide
- L. Super absorbent, if to be utilized
- M. Pre-emergent herbicide
- N. Materials identified in contract documents
- O. Written plant guarantee
- P. Prior to purchase and delivery of plants, Contractor shall provide the Landscape Architect-Owner's Representative with photos of proposed plant materials and coordinate nursery visit.

- 1.4 QUALITY ASSURANCE
- A. Landscape Contractor Qualifications: The Landscape Contractor (Contractor) shall have previous experience installing projects of equal or greater size to the project plans. The Contractor shall have a full-time supervisor with a minimum of 5 years of experience that is on-site during installation process.
- B. Soil Analysis: Contractor shall provide soil analysis of the existing surface soil and compost mix. Agronomic soil testing shall be performed by a commercial soil-testing laboratory.
- C. Provide quality, size, genus, species, and variety of plants indicated, complying with "Florida Number 1" or better's "Grades and Standards for Nursery Plants," latest edition, published by Florida Department of Agriculture, Division of Plant Industry, Gainesville, Florida. To evaluate plants not specifically listed in the "Grades and Standards for Nursery Plants," use the appropriate matrix type.
- D. Pre-Installation Conference: Prior to beginning plant installations, conduct conference at project site.
- E. Substitutions:
1. If a plant material or product is not available, the Contractor shall submit to the Landscape Architect-Owner's Representative for approval, proof of non-availability with a recommendation for an equivalent material. When authorized, adjustment of contract amount may be made. No substitutions will otherwise be allowed.
- F. Inspection: Landscape Architect-Owner's Representative may inspect plants at nursery and project site prior to planting, for compliance with plans. The Landscape Architect-Owner's Representative may inspect plants at any time for size and condition of balls, root systems, insects, injuries, latent defects, and reject plant materials at any time during progress of work. Contractor shall remove rejected plants from project site. The Landscape Architect-Owner's Representative's preliminary inspection is not to be construed as acceptance until such time as a written final acceptance inspection is received.

- 1.5 DELIVERY, STORAGE, AND HANDLING
- A. Prior to materials being shipped from supplier, Landscape Architect-Owner's Representative may inspect materials on-site or through the submission of photographs. Refer to the plant schedule within the project plan set for specific plants requiring on-site tagging-inspection.
- B. Do not prune trees and shrubs before delivery. Protect bark, branches, and root systems from sun scald, drying, sweating, whipping, and other handling and tying damage. Do not bend or bind-tie trees or shrubs in such a manner as to destroy their natural shape. Provide protective covering of plants during delivery. Do not drop plant materials.
- C. Deliver plants after preparations for planting have been completed and install immediately. If planting is delayed more than six hours after delivery, set plants trees in shade, protect from weather and mechanical damage, and keep roots moist.

- 1.6 WARRANTY
- Warranty: Contractor shall warrant plants for the warranty period indicated against defects including death and unsatisfactory growth.
1. Warranty Period for Plant Materials: 1 year from date of final acceptance
2. Warranty Period for Sod: 6 months from date of final acceptance

LANDSCAPE SPECIFICATIONS

- 1.7 MAINTENANCE
- A. Plant Materials: Maintain until final acceptance by pruning, cultivating, watering, weeding, fertilizing, restoring planting saucers, tightening and repairing stakes and supports, resetting plants to proper grades, vertical position, as required to establish healthy, viable plantings. Spray insecticides to keep plants free of insects and disease.
- B. Protect plant materials from damage due to landscape operations, operations by other contractors and others. Maintain protection during installation and final acceptance. Treat, repair, and replace damaged plantings at no additional cost to the Owner.
- C. Maintenance of sod areas: The Contractor shall maintain until final acceptance by protecting sod areas against traffic or other use by warning signs and barricades, as approved by the Landscape Architect-Owner's Representative. Damaged sod shall be repaired by re-grading, then re-sod. Contractor shall mow, water and otherwise maintain sod areas in a satisfactory condition until final acceptance of the work.
1. Maintain sod areas until final acceptance by watering, weeding, mowing, applications of herbicides, fungicides, insecticides, fertilization and re-seeding until a full, uniform stand of grass free of weeds, undesirable grass species, disease, and insects is achieved and accepted by the Landscape Architect-Owner's Representative.
- a. Repair, re-work, and re-sod all areas that have washed out, eroded, or are not a healthy stand of grass.
- b. Mow sod areas when top growth reaches a height where no more than a third of the leaf blade will be removed at any single mowing. Repeat mowing to maintain specified height per recommendations of local agricultural extension agency.

- 1.8 REPLACEMENTS AND CONDITIONS
- A. Promptly remove and replace plant materials that are dead, unhealthy condition, fallen below acceptable quality. Prior to the end of the warranty period, a final warranty inspection of the work may be made by the Landscape Architect-Owner's Representative. The Contractor shall remove and replace plant materials and sod areas found to not be in compliance with contract requirements. Replacement plant material size and species shall be as noted in the project plans. A new warranty period shall commence on each plant replaced during the warranty period, contractor shall maintain plant warranty log.

- 1.9 FINAL INSPECTION AND ACCEPTANCE
- A. Final Inspection: Upon completion of landscape installation, the Contractor shall notify the Landscape Architect-Owner's Representative in writing 10 days prior to requested inspection date. Landscape Architect-Owner's Representative will make an inspection to determine compliance with contract documents. When inspected landscape work does not comply with contract documents, the Contractor shall remove and replace rejected work and continue maintenance. Contractor shall provide 48 hour notice to Landscape Architect-Owner's Representative requesting re-inspection.
- Plant Materials:
- a. Replace plant materials not in healthy condition, fails below quality requirements
- Lawns:
- a. At the time of final warranty inspection, sod areas shall be healthy, well-rooted even colored, lawn is established, weed free without open joints and bare areas.

PART 2 - PRODUCTS

- 2.1 PLANTS
- A. Tree and Shrub Material: Provide nursery-grown tree and shrub materials complying with plant quality requirements, Part 1-General. Provide well-shaped, fully branched, healthy, vigorous plants free of disease, insects, eggs, larvae, and defects such as knots, sun scald, injuries, abrasions, and disfigurement.
- B. Ground Cover: Provide ground cover species indicated, established and well rooted in pots or similar containers, and complying with plant quality requirements, Part 1-General.
- C. Annuals: Provide healthy, disease-free plants of species and variety shown or approved, complying with plant quality requirements, Part 1-General. Provide plants acclimated to the conditions they are to be installed on the project and are in bud with few, if any blooms.
- D. Perennials: Provide healthy plants from a commercial nursery, of species and variety shown or approved, complying with plant quality requirements, Part 1-General.
- E. Sod: Sod shall be species and locations in the project plans. Sod shall be freshly cut in pads (or rolls with prior approval). Sod shall be derived from an area having a soil type similar to the soil on which it is to be laid. Sod shall be healthy, free of weeds and insects including ground pearls and spittle bugs, in naturally green condition, and shall have an abundance of roots contained within a mat of topsoil derived in the harvesting process from the area where grown. Brown, dry, irregularly smooth, and/or un-fresh sod will be rejected.

- 2.2 PLANTING MATERIALS
- A. Topsoil: pH range of 5.5 to 6.5, a minimum of 6 percent organic material content; free of stones 1 inch or larger in any dimension and extraneous materials harmful to plant growth.
1. Topsoil Source: Amend existing surface soils according to recommendations from soil tests analyzed by commercial soil testing laboratory, see Part-1 General.
- B. Soil Amendments: Following are soil amendments that may be utilized to modify existing surface soil according to recommendations from agronomic soil testing analysis.
- a. Lime: Natural dolomitic limestone containing not less than 85 percent of total carbonates with a minimum of 30 percent magnesium carbonates, ground so that not less than 90 percent passes a 10-mesh sieve and not less than 50 percent passes a 100-mesh sieve.
- b. Aluminum Sulfate: Commercial grade.
- c. Peat Humus: Finely divided peat, completely decomposed and free of fibers to eliminate it's biological identity. Provide in granular form, free of hard lumps and with pH range suitable for intended use or Florida Muck with a texture and pH range suited for the intended use. Florida Muck shall be delivered in a non-muddy state, reasonably free of clay, roots and litter and other extraneous or toxic matter harmful to plant growth. Florida Muck shall be subject to approval by the Owner.
- d. Bonemeal: Commercial, raw, finely ground; 4 percent nitrogen and 20 percent phosphoric acid.
- e. Superphosphate: Soluble mixture of treated minerals; 20 percent available phosphoric acid.
- f. Sand: Clean, washed builder's sand, free of toxic materials, free of salt, weeds, sticks and other debris. Sand shall conform to ASTM C3 for five aggregates.
- g. Perlite: Conforming to National Bureau of Standards PS 23.
- h. Vermiculite: Horticultural grade, free of toxic substances.
- i. Sawdust: Rotted sawdust, free of chips, stones, sticks, soil, or toxic substances and with 7.5 pounds of nitrogen uniformly mixed into each cubic yard of sawdust.
- j. Manure: Well rotted, unleached stable or cattle manure containing not more than 25 percent by volume of straw, sawdust, or other bedding materials and containing no chemicals or ingredients harmful to plants.
- k. Mulch: Organic mulch shall be uniform in size, shape, texture, and shall be clean, bright, and free from weeds, moss, sticks, and other debris. Mulch shall be free from deleterious materials and suitable for top dressing of trees, shrubs, or plants.
- l. Fertilizer:
1. Fertilizer: Pelletized fertilizer with nitrogen, phosphorous and potassium in 100 percent slow release form, with the following composition:
- a. Composition: 8 percent nitrogen, 2 percent phosphorous, 12 percent potassium + 4 percent magnesium and all micro-nutrients

LANDSCAPE SPECIFICATIONS

- 2.3 COMPOST MIX
- A. Compost Mix: Manufactured mix that is weed and disease free, pasteurized composed of:
- a. 34% Aged Pine Bark
- b. 33% Finished Organic Compost
- c. 33% Composted Cow Manure
- B. Compost mix shall be sent to an approved agronomic soil-testing laboratory to provide the requirements noted Part 1-General.
- D. Seed:
1. Seed: All seed shall be furnished from a certified seed dealer or certified seed grower; meet the requirements of the Florida Department of Agriculture regulations; be labeled in accordance therewith. Seed shall be free of noxious weeds.
- E. Sprigging: Sprigs shall be certified to genetic purity, free of pests and disease, delivered in a timely fashion and consist of stems, leaves and stolons. The sprigs shall come from a certified supplier, approved by the Owner's Representative. After being harvested, the sprigs shall be delivered to the planting site within 24 hours. The stock shall contain no weeds, soil, or other debris and shall not be dried out at the time of planting.
- Sprigs shall be harvested to facilitate separation and distribution. Sprigs shall average four to six inches in length and carry at least four nodes. Sprigs shall be planted within twenty- four hours after removal from the certified supplier. It shall be the Contractor's responsibility to protect the stolons, keeping them moist and out of the sunlight before and during the planting operation.

PART 3 - EXECUTION

- 3.1 PLANTING
1. Prior to installing plant materials, Contractor shall perform drainage test excavations one per acre of site planting areas or submit plan of locations for Landscape Architect approval, a minimum of 250 ft on center throughout the planting and sod areas. Test excavations shall be a minimum of 12"dia, and 12" deeper than the largest proposed plant rootball. Test excavations shall be filled with water to finish grade, then monitored to verify excavations have completely drained within a 3 hour period. Landscape Contractor shall notify the Landscape Architect-Owner's Representative of any excavations which fail this test, prior to proceeding with plant installations. Corrective actions may be required, such as but not limited to over-excavation to break sub-surface soil conditions which shall be the Contractor's responsibility and may be considered additional work. Contractor shall seek and obtain approval from Owner's Representative prior to proceeding.
2. Unsuitable Soil Conditions: Absolutely no plastic or clayey soil is to be used in landscape areas. If such a condition is found, the area is to be back-filled with material of suitable sandy gradation which is porous and percolates well with reasonable compaction. If any planting or sod area has a plastic or clayey soil condition which prevents proper drainage, then a system of underdraining, turf drain or other means of releasing underground standing water must be incorporated under the direction of the Landscape Architect-Owner's representative.
3. Upon completion of landscape installation the finish grade of planting beds and lawn areas shall be minimum 6 inches below adjacent structures and slope away from existing structures per the Florida Building Code. Verify compliance with Florida Building Code with General Contractor prior to beginning work. Parking lot islands shall slope at 3% from center of island to curb. Finish grade shall be below sidewalks, curbs and walking surfaces to allow for mulch thickness and sod.
4. Upon completion of landscape installation, the Contractor shall notify the Landscape Architect-Owner's Representative in writing 10 days prior to requested inspection date. Landscape Architect-Owner's Representative will make an inspection to determine compliance with Contract Documents.
5. The Contractor shall be responsible for stability and plumb conditions of all plant materials, be legally liable for damage caused by instability of plant materials. Proper staking and guying is the Contractor's responsibility. Contractor shall under their own discretion provide additional staking and guying above and beyond the requirements of the project plans at no additional expense to the Owner.

- A. Plant Material Installation and Planting Bed Preparation:
1. Topsoil shall be modified according to recommendations from agronomic soil-testing laboratory, prior to installation of plants.
2. Spread on top of topsoil a 3 inch layer of compost mix prior to planting. Mix shall be incorporated in planting holes during installation.
3. Do not spread compost mix if topsoil is frozen, muddy, or excessively wet.
4. Planting Pits and Trenches: Excavate circular planting pits with sides sloped inward. Trim base leaving center area raised slightly to support root ball and assist in drainage. Do not further disturb base. Scarily sides of plant pit smeared or smoothed during excavation.
5. Topmost Root: Topmost root-root flare shall be visible prior to planting - Find the topmost root and remove excess soil to expose topmost root-root flare.
6. Root Defects: Inspect root ball for root defects, cut roots at the point where they begin to kink or circle. Root ball shall comply with Florida Grades & Standards.
7. Remove rocks, sticks or other deleterious material greater than 1 inch in any 1 direction prior to backfill process.
8. Set tree, palm and shrubs plumb and in center of tree planting pit or trench with top of root ball 2 inches above finish grade.
- a. Container Grown: Carefully remove root ball from container without damaging root ball or plant.
- b. Ball and Burlaped Root ball: Do not use plant materials if root ball is cracked or broken before or during planting operation. Do not lift plants by the trunk. Remove rope, synthetic burlap, plastic and materials that will not decompose. Remove top 1/3 of wire basket.
- c. Backfill planting excavation incorporating compost mix. Work soil around roots eliminate voids and air pockets. When planting pit is approximately one-half backfilled, water thoroughly before placing remainder of backfill.
- d. Repeat watering until no more water is absorbed. After planting, remove excess soil and rake plant beds to a smooth even surface conforming to required finish grades.
- e. Upon completion of plant installations, fertilize according to specifications.
- f. Tree pits in non-irrigated areas shall be installed with super absorbent, according to manufacturer's recommendations.
9. Water thoroughly after planting, taking care not to cover plant crown with wet soil.
10. Protect plants from hot sun and wind; remove protection if plants show evidence of recovery from transplanting shock.
11. Finish Grading: Level planting area to a smooth, uniform surface with loose, uniformly fine texture. Roll and rake, remove ridges, and fill depressions to meet finish grade.
12. Upon completion of plant installations, fertilize according to specifications.
13. Tree and Shrub Pruning: Prune trees and shrubs according to International Society of Arboriculture standards. Contractor shall prune trees and shrubs to comply with Florida Grades and Standards. Prune plants to retain natural character.

- B. Sod:
1. Topsoil shall be modified according to recommendations from agronomic soil-testing laboratory, prior to installation of sod, see Part 1-General.
2. Remove rocks, sticks or other deleterious material greater than 1 inch in any 1 direction prior to sod installation.
3. Finish grade to receive sod shall be uniformly graded and irrigated prior to sod installation. Sod shall be laid end-to-end and side-to-side to form a uniform layer of un-broken, un-gapped turf. All uneven edges shall be squarely trimmed to allow close and firm fitting of each piece. All gaps or spaces shall be filled to a smooth level with topsoil as specified herein. Edges shall be "heeled-in" and finished smoothly without uneven exposure. Place sod with staggered joints closely butted, tamped or rolled to an even surface to the required finished grade. Avoid continuous seam along line of water flow in swales. Place sod in rows at right angles to slope. Peg sod on slopes greater than 3:1.
4. Upon completion of sod installation, sod areas shall be watered to provide a healthy growing condition. Watering shall be monitored and adjusted by the Contractor to prevent over or under watering.

LANDSCAPE SPECIFICATIONS

- C. Seed:
1. Seed: All seed shall be furnished from an established seed dealer or certified seed grower; shall meet the requirements of the Florida Department of Agriculture regulations; and shall be labeled in accordance therewith. Seed shall be free of noxious weeds.
2. Seed Planting: At a minimum the contractor shall test the soil to verify conditions are acceptable for turf growth.
- 2.1. Submit agronomic soil tests for existing soil. Tests shall be performed by an approved agronomic soils testing laboratory and shall include a fertility test with the pH factor and the percentage of organic matter and a suitability analysis. The suitability analysis will include percolation tests and evaluation of soil composition to determine the soil's suitability to sustain healthy turf. Submit written recommendations for soil suitability and all necessary soil amendments, fertilizer and chemical conditioner application rates for soil preparation, and a post maintenance fertilization program. Submit recommendations to bring the soil to a pH rating between 5.5 to 6.5 and to supply necessary nutrients to satisfactory level for planting and sustaining vigorous turf growth. Submit a copy of soil tests with suitability analysis and recommendations to Owner's Representative prior to any planting.
- 2.2 At a minimum apply 100 lbs/acre of scarified, chemically treated Bahia Seed. Apply by hand, cyclone seeder, drill or hydro-seeding. The final result shall place the seeds ¼" - ½" below the soil.
- 2.3. At a minimum apply an additional 30 lbs/acre of quick growing rye grass over the entire area.
- 2.4. Contractor is responsible for utilizing the best application method to prevent erosion of soil during seed growth.
- 2.5. At a minimum apply mulch (straw, hay, wood, etc.) at a rate of 2.5 tons per acre during seeding.
- 2.6. At a minimum apply fertilizer during seeding at a rate of 250lbs/acre using a 12-6-8 fertilizer or other ratio recommending by the soil testing. An additive of 4% magnesium is also required and should be verified with soil testing.
- 2.7. Contractor is responsible for dust control and measure should be taken to minimize movement of dust in addition to seeding and mulching.
3. Watering: At a minimum apply 3/4" to 1" of water each week to the newly seeded areas to help germination until the grass is fully established. The contractor is responsible to monitor rainfall quantities and supplement with watering as necessary. The contractor shall record all watering information and furnish to the Owner's Representative when requested.
- 3.1. During the maintenance period the contractor shall supplement the rain water amount with hand watering as necessary to maintain an average of ½" of water weekly. At any time the owner's representative may require an immediate watering of areas they find suffering from a lack of water. The contractor will have 2 days to water these areas.

4. Maintenance: At a minimum the contractor shall be responsible for mowing the new established Bahia grass at four (4) different times throughout the 12 month warranty period. The timing of mowing shall be coordinated and approved by the owner's representative.
- 4.1. At a minimum the contractor shall implement a fertilization program that will adequately assist the continued health of the turfgrass. This should include a spring, summer, and fall fertilization treatment unless proper soil sample analysis is supplied to the owner's representative that warrants no treatment required. The owner's representative shall make the final decision.
- 4.2. At the request of the owner's representative, at any given time, any area of the project that has not properly been covered by turfgrass, that is undernourished, underwatered, eroded, or in any other way not acceptable to the owner's representative, the contractor will have seven (7) days to fully correct the problem at the contractor's expense.

- D. Fertilization, Pre-Emergent and Mulching:
1. Prior to mulching, apply fertilizer specified in Part 2-Products to tree, palm, shrub, groundcover and sod areas at the rate of 1.5 pounds of actual fertilizer per 100 square feet. Fertilizer application shall be witnessed by Landscape Architect-Owner's Representative.
- E. Mulching and Pre-Emergent Herbicide:
1. Apply pre-emergent herbicide to tree, palm, shrub, and groundcover areas according to manufacturer's recommendations. Pre-emergent application shall be witnessed by Landscape Architect-Owner's Representative.
2. Mulch surfaces of tree, palm, shrub and groundcover areas. Apply 3 inch depth of settled mulch, level with adjacent finish grades, sidewalks, curbs and sod. Mulch over root ball of plants shall be 1 inch maximum.
- F. Plant Protection:
1. Protect plants from damage due to landscape operations, operations by other contractors and trades, and others. Maintain protection during installation and maintenance periods, as approved by Landscape Architect-Owner's Representative. Treat, repair, or replace damaged plant materials.

- G. Clean Up:
1. Remove surplus soil and waste material, including excess subsoil, unsuitable soil, trash, and debris, and legally dispose off Owner's property.
- H. Sprigging:
1. The Contractor shall carefully coordinate the sprigging operation being careful not to spig an area too large or move so swiftly that a reasonable watering operation could not follow. Carelessness on the part of the Contractor, as mentioned above, shall result in the Contractor being liable for the cost of additional sprigs and the replanting of same.
2. A successful planting shall be defined as the insertion of 12 live sprigs per square foot.
3. An automatic planting machine shall be used, the machine shall insert live sprigs at 1-1/2 to 2 inch centers and roll the surface smooth on one pass. A minimum rate for sports field shall be 400 bushels per acre and sprigs shall be "cut in" mechanically.
4. After planting, sprigs must be watered to avoid drying out. Watering must be maintained until the sprigs tack down, about 14 days, then reduced to kept the sprigs well irrigated until complete coverage is obtained. Insects such as army worms are the biggest insect threat and can completely destroy a stand of immature sprigs overnight, it is the Contractors responsibility to monitor and treat all infestations as may be required.
5. The sprigs must be properly fertilized until completely grown in (about 12 weeks in optimum season - do not attempt to spig past August 1). Apply 1 lb of nitrogen/1,000 square feet per week, applied in 2, 1/2 lb applications for 12 weeks. The nitrogen source shall be 75% water soluble and 25% water insoluble. Test soil and apply lime as needed to meet, then apply a pre-plant "complete" fertilizer, 10-10-10 at least 2lb/M which needs to be lightly incorporated into the soil prior to sprigging.
6. Contractor shall be responsible for the planting and grow-in of all sprigged areas. The grow-in responsibilities shall include all mowing, fertilization monitoring, watering and any additional activities required to produce a weed-free dense turf. The grow-in and maintenance period shall be considered complete when a healthy, well-rooted, even-colored, viable lawn has been established, free of weeds, surface irregularities and no bare areas greater than 2-1/2 square inch/10 square feet, with no bare area greater than 1 sq in each. Contractor shall notify the Landscape Architect-Owner's Representative in writing requesting an inspection with 48 hours notice to determine final acceptance of all the sprigged areas.



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Florida Certificate of Authorization Number: 00004050

LIBERTY COVE  
NASSAU, LLC

LIBERTY COVE  
AMENITY CENTER

DATE : 2024-07-12

PROJECT NO. : 120093.05

DESIGNED BY : PSM

DRAWN BY : CDC

SCALE : AS NOTED

No.	Date	Revision
1	04/20/2023	ISSUED FOR CONSTRUCTION
2	01/31/2024	PERMIT PLANS REV.

THIS DRAWING NOT RELEASED FOR  
CONSTRUCTION UNLESS SO NOTED ABOVE

SHEET TITLE

LANDSCAPE  
SPECIFICATIONS

L-1.03

PAUL S. MOSS, JR.  
FL Lic. No. LA 1165  
DATE:

S H E E T

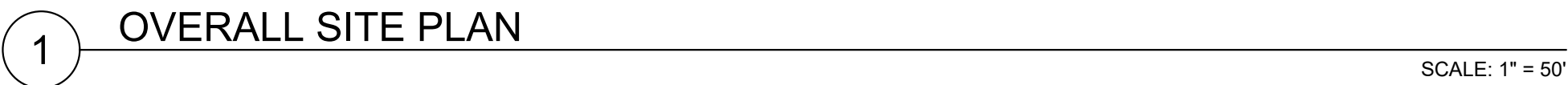
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2022-05-16 pssr\_plan-ArnsD-bdr



CODE	DESCRIPTION	DETAIL / MANUFACTURER / SPECIFICATIONS	CONTACT
B-101	SQUARE SHELTER	STEELWORX. SQUARE SHELTER MODEL # SQ-20-SW-VT-612-W-LA. 20'X20'; SEE DETAIL 2/L-3.04	COVERWORX.COM (800)-657-6118
F-301	4FT METAL PICKET FENCE	4FT HT. - S10 - "DERBY" ALUMINUM FENCE, POWDERCOAT FINISH, COLOR: BLACK, SEE PLAN & DETAIL 1/L-3.02	SPECRAIL (PH. 800.243.6256)
G-301	5FT METAL PICKET GATE - POOL COMPLIANT (4' WIDE)	5FT HT. - S10 - "DERBY" ALUMINUM FENCE, POWDERCOAT FINISH, COLOR: BLACK, SEE PLAN & DETAIL 2/L-3.02	SPECRAIL (PH. 800.243.6256)
G-302	4' METAL PICKET GATE	4FT HT. - S10 - "DERBY" ALUMINUM GATE, POWDERCOAT FINISH, COLOR: BLACK, SEE PLAN & DETAIL 1/L-3.02	SPECRAIL (800)-243-6256
I-101	HOSE BIBB AT POOL DECK	HOSE BIBBS BY MURDOC - MODEL M-3810 - 3/4" INLET (NON FREEZE BRONZE GROUND HYDRANT) SEE CIVIL PLANS	MURDOC - 15125 PROCTOR AVENUE, CITY OF INDUSTRY, CA (PH. 800.591.9081)
K-101	POOL EQUIPMENT GRAVEL	3" DEEP, 1/2" - 1-1/2" WASHED GRAVEL, "RIVER JACKS" 2440-T WITH WEED BARRIER AND ALUMINUM EDGING	PEBBLE JUNCTION (407)-871-6208
L-101	ALUMINUM EDGING	3/16" X 4" PERMALOC "CLEANLINE" ALUMINUM EDGING, MILLED FINISH	SURE LOC (PH 800.787.3562) WWW.SURELOEDGING.COM
P-101	CONCRETE WALKWAY	STANDARD GRAY CONCRETE, SEE DETAILS 5/L-3.01	N/A
P-301	POOL DECK PAVER BAND	TREMIRON - 4"X 8" CONCRETE PAVERS, COLOR: SANDSTONE, REFER TO PLAN FOR LAYOUT & DETAILS	TREMIRON PAVERS - MARK NORMINGTON (904) 591-6882 MNORMINGTON@TREMIRON.COM
P-302	POOL DECK FIELD PAVER	TREMIRON - SHELL PAVER. SIZE 8X8, 8X12, 12X12, 16X16 PATTERN PARK PLAZA ASHLAR. COLOR: SAND DUNE, SEE PLAN & DETAILS	TREMIRON PAVERS - MARK NORMINGTON (904) 591-6882 MNORMINGTON@TREMIRON.COM
P-303	POOL COPING PAVER	TREMIRON - 4"X 8" FULL BULLNOSE CONCRETE PAVERS, COLOR: SANDSTONE, REFER TO PLANS FOR LAYOUT, SEE PLANS & DETAILS	TREMIRON PAVERS - MARK NORMINGTON (904) 591-6882 MNORMINGTON@TREMIRON.COM
PG-101	PLAYGROUND STRUCTURE	PLAYWORX PLAYGROUND, LIBERTY COVE TRAIN, SEE PLAN & DETAIL 4/L-3.05	JIMMY GANDY (404) 427-5270
PL-102	POOL SAFETY EQUIPMENT	REFER TO POOL ENG. PLANS FOR SPECIFICATIONS	REFER TO POOL ENG. PLANS
PL-103	POOL RULES SIGN	REFER TO POOL ENG. PLANS FOR SPECIFICATIONS	TBD
PL-104	POOL SHOWER	MODEL FTA-C40-CHS CLASSYC40 BY OUTDOOR SHOWER COMPANY, 12" SHOWER HEAD WITH HAND SHOWER, COLOR: STAINLESS STEEL	OUTDOOR SHOWER COMPANY WWW.OUTDOORSHOWERCO.COM
S-101	6' BENCH	BELSON OUTDOORS - COMMERCIAL STEEL OUTDOOR FLAT BENCH WITH BACK, MODEL: CBPB-6SB-BK-BL, COLOR: BLACK, SURFACE MOUNT PER MANUFACTURER'S RECOMMENDATIONS; SEE DETAIL 3/L-3.02	SALES@BELSON.COM (800)-323-5664
S-203	PICNIC TABLE	BELSON OUTDOORS - 8' DOUBLE SIDED MULTI-PEDESTAL ADA TABLE WITH DETACHED SEATS MODEL: 348SMH-CDR8, COLOR: CEDAR TOP AND SEATS WITH BLACK FRAME, SURFACE MOUNT PER MANUFACTURER'S RECOMMENDATIONS; SEE DETAIL 3/L-3.03	SALES@BELSON.COM (800)-323-5664
S-501	TRASH RECEPTACLE	BELSON OUTDOORS - POWDER-COATED FLARE TOP TRASH RECEPTACLE WITH RAIN BONNET LID, MODEL: CBTR-FTRB-BK-BL, COLOR: BLACK, INSTALL PER MANF. RECOMMENDATIONS; SEE DETAIL 5/L-3.02	SALES@BELSON.COM (800)-323-5664
S-601	BIKE RACK	BELSON OUTDOORS - 5 BIKE WAVE RACK, 48MM O.D. ROUND TUBING, SURFACE MOUNT - POWDER-COATED BLACK, MODEL: CBBR-SUR-BK-BL, SURFACE MOUNT PER MANF. RECOMMENDATIONS; SEE DETAIL 4/L-3.02	SALES@BELSON.COM (800)-323-5664
S-901	POOL CABANA	SEE ARCHITECTURAL PLANS, SHEET L-3.03 & L-3.04	N/A
SG-101	GROUND MONUMENT SIGN	SIGN TEXT TO BE MODIFIED AT EACH LOCATION,SEE DETAIL 1/L-3.03	N/A

1. CONTRACTOR IS RESPONSIBLE FOR REVIEWING SITE CONDITIONS PRIOR TO BIDDING AND CONSTRUCTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNER'S ENGINEER AND LANDSCAPE ARCHITECT PRIOR TO FINAL BID AND/OR CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR A THOROUGH UNDERSTANDING OF ALL ENGINEERING, ARCHITECTURAL AND LANDSCAPE DESIGN DRAWINGS. DISCREPANCIES BETWEEN THESE DRAWINGS SHALL BE IMMEDIATELY IDENTIFIED AND BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO FINAL BID AND/OR CONSTRUCTION.
3. THE EXTENT OF THE CONTRACTOR'S WORK IS AS INDICATED IN THE PLANS AND DETAILS. THE CONTRACTOR IS RESPONSIBLE TO UNDERSTAND THE EXTENT OF WORK DESCRIBED HEREIN. DISCREPANCIES IN THE DEFINED WORK LIMITS IN THESE DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNER OR OWNER'S REPRESENTATIVE. ANY MISUNDERSTANDINGS REGARDING THE EXTENT OF WORK ARE FULLY THE RESPONSIBILITY OF THE CONTRACTOR.
4. IN THESE DRAWINGS WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. PROSSER, INC. MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN IN THESE DRAWINGS.
5. ALL DIMENSIONS SHOWN ARE TO EDGE OF HARDSCAPE ELEMENT UNLESS OTHERWISE NOTED. ALL SPOT ELEVATIONS ARE TO FINISHED CONCRETE WORK, UNLESS OTHERWISE NOTED.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING AND VERIFYING FINAL GRADES, SLOPES, AND SWALES WITH CIVIL ENGINEER'S GRADING PLAN AND THE HARDSCAPE PLANS. ANY DISCREPANCIES BETWEEN THESE PLANS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNER'S ENGINEER AND LANDSCAPE ARCHITECT PRIOR TO FINAL BID AND/OR CONSTRUCTION. POSITIVE DRAINAGE SHALL BE MAINTAINED IN ALL AREAS. AREA DRAINS MAY NEED TO BE ADDED WHERE POSITIVE DRAINAGE CAN NOT OCCUR.
7. CONTRACTOR SHALL VERIFY EXISTING ELEVATIONS AT CONNECTION POINTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
8. SEE GEOTECHNICAL REPORT FOR SITE PREPARATION REQUIREMENTS.
9. THE CONTRACTOR SHALL COORDINATE THE GRADING AND DRAINAGE CONSTRUCTION WITH ALL OTHER CONSTRUCTION AND CIVIL ENGINEERING DRAWINGS.
10. THE EXISTING UTILITY FACILITIES AND LOCATIONS SHOWN ON THE DRAWINGS ARE TAKEN FROM READILY AVAILABLE INFORMATION. THE ACTUAL LOCATIONS OF THE UTILITY FACILITIES MAY VARY SOMEWHAT FROM THE LOCATIONS SHOWN AND UTILITY FACILITIES EXISTING THAT ARE NOT SHOWN OR INDICATED ON THE DRAWINGS. THE CONTRACTOR SHALL CONTACT ALL AGENCIES WITH UTILITY FACILITIES IN THE VICINITY OF THE WORK AND SHALL LOCATE ALL UNDERGROUND FACILITIES BEFORE BEGINNING WORK. THE CONTRACTOR SHALL PROTECT ALL UTILITY FACILITIES AND REPAIR ANY DAMAGES RESULTING FROM THEIR WORK IN CONFORMANCE WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS AND RELOCATE IF REQUIRED AT NO COST TO THE OWNER.
11. ALL UNDERGROUND UTILITIES, STORMWATER IMPROVEMENTS AND IRRIGATION SHALL BE INSTALLED PRIOR TO PREPARATION OF SUBGRADE FOR PAVEMENT.
12. PAVEMENT SUBGRADE SHALL HAVE ALL UNSUITABLE MATERIAL REMOVED TO A DEPTH OF 3 FEET BELOW SUBGRADE AND 2.5 FEET BEYOND BACK OF CURB. BACKFILL WITH SUITABLE MATERIAL PER THE GEOTECHNICAL REPORT.
13. ANY UNSUITABLE MATERIAL ENCOUNTERED SHALL BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL UNSUITABLE MATERIAL AND REPLACEMENT OF SUITABLE FILL. EXCESS SUITABLE FILL MATERIAL SHALL BE MOVED TO OWNER SPECIFIED LOCATION. SEE GEOTECHNICAL REPORT AND CIVIL ENGINEERING PLANS.
14. THE CONTRACTOR SHALL PROVIDE A QUALIFIED SOILS LABORATORY REPRESENTATIVE ON SITE DURING EXCAVATING TO DETERMINE THE SUITABILITY OF THE EXISTING SUB-GRADE AND EXISTING ON-SITE MATERIAL PRIOR TO BEGINNING ANY FILLING OPERATION.
15. CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST. CONTRACTOR SHALL CONTROL DUST BY SPRINKLING, OR BY OTHER METHODS AS DIRECTED BY ENGINEER AT NO ADDITIONAL COST TO THE OWNER.
16. CONTRACTOR TO COORDINATE ALL WORK WITH OTHER UTILITY INSTALLATIONS NOT COVERED IN THESE PLANS (ELECTRIC, TELEPHONE, GAS, CABLE, ETC.) AND ALLOW FOR THEIR OPERATIONS AND CONSTRUCTION TO BE PERFORMED.
17. CONTRACTOR SHALL REPAIR OR REPLACE IN-KIND ANY DAMAGE THAT OCCURS AS RESULT OF THEIR WORK.
18. ALL SOILS TEST REPORTS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL.
19. ALL AREAS SHOWN TO BE FILLED SHALL BE CLEARED AND GRUBBED IN ACCORDANCE WITH COUNTY STANDARDS AND SHALL BE FILLED WITH CLEAN STRUCTURAL FILL COMPACTED AND TESTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
20. ALL DEBRIS RESULTING FROM ALL ACTIVITIES SHALL BE LEGALLY DISPOSED OF OFF-SITE BY THE CONTRACTOR.
21. ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED AND PRESERVED, SEE LANDSCAPE PLANS.
22. CONTRACTOR SHALL COORDINATE CONNECTION OF PROPOSED PIPING WITH ALL EXISTING PIPING.
23. CONTRACTOR SHALL ENSURE THAT ALL NEW AND EXISTING DRAINAGE STRUCTURES, PIPES, ETC. ARE CLEAN AND FUNCTIONING PROPERLY AT TIME OF ACCEPTANCE.
24. SHOULD THE SURFACE OR SUBSURFACE CONDITIONS DIFFER FROM WHAT IS SHOWN ON THESE PLANS, THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.



	Denotes Existing Spot Grades	TOB 81.0	Denotes Top of Bank Elevation		Denotes Proposed Contour
	Denotes Proposed Civil Engineers Spot Grades	BOS 79.5	Denotes Bottom of Slope Elevation		Denotes Existing Contour
	Denotes Proposed Hardscape Spot Grades	TF 70.5	Denotes Top of Footing Elevation		Denotes Trench Drain
BS 86.0	Denotes Bottom of Stair Elevation	FF 85.0	Denotes Finish Floor Elevation		Denotes Surface Drainage Direction
FG 86.0	Denotes Finished Grade Elevation	RM 31.0	Denotes Rim Elevation		Denotes Disabled Parking Space
TS 86.0	Denotes Top of Stair Elevation	AD 87.0	Denotes Area Drain Elevation		Denotes Disabled Access Slope
TW 86.0	Denotes Top of Wall Elevation	BD 87.0	Denotes Brass Drain Elevation		Denotes A/C Condenser Unit
TC 81.5	Denotes Top of Curb Elevation	AT 87.0	Denotes Atrium Drain Elevation		Denotes Fire Hydrant
EP 81.5	Denotes Edge of Pavement Elevation	C.O.	Denotes Clean Out		Denotes Manhole Cover
HP 81.75	Denotes High Point Elevation	N.W.L.	Denotes Normal Water Level		Denotes Drain
LP 71.75	Denotes Low Point Elevation	P.A.	Denotes Planter Area		Denotes Transformer
T COL 87.5	Denotes Top of Column Elevation				Denotes Wheel Stop

S H E E T



LIBERTY COVE  
AMENITY CENTER

DATE : 2024-07-12  
PROJECT NO. : 120093.05  
DESIGNED BY : PSM  
DRAWN BY : CDC  
SCALE : AS NOTED

[illegible]

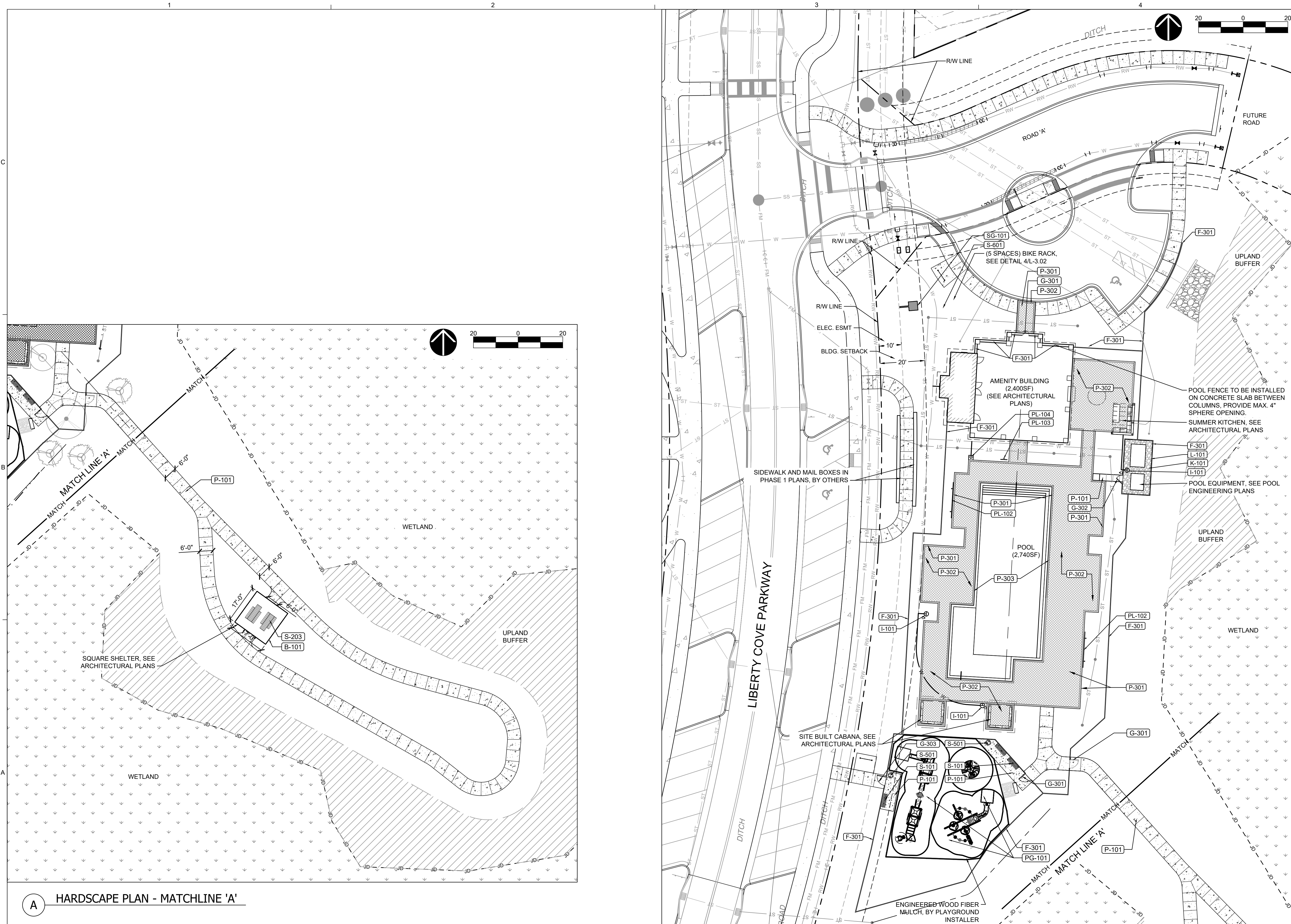
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CONSTRUCTION UNLESS SO NOTED ABOVE

SHEET TITLE

## HARDSCAPE PLAN

L-2.01

PAUL S. MOSS, JR.  
FL Lic. No. LA 1165  
DATE:





LIBERTY COVE  
NASSAU, LLCLIBERTY COVE  
AMENITY CENTER

DATE : 2024-07-12  
PROJECT NO. : 120093.05  
DESIGNED BY : PSM  
DRAWN BY : CDC  
SCALE : AS NOTED

[illegible]

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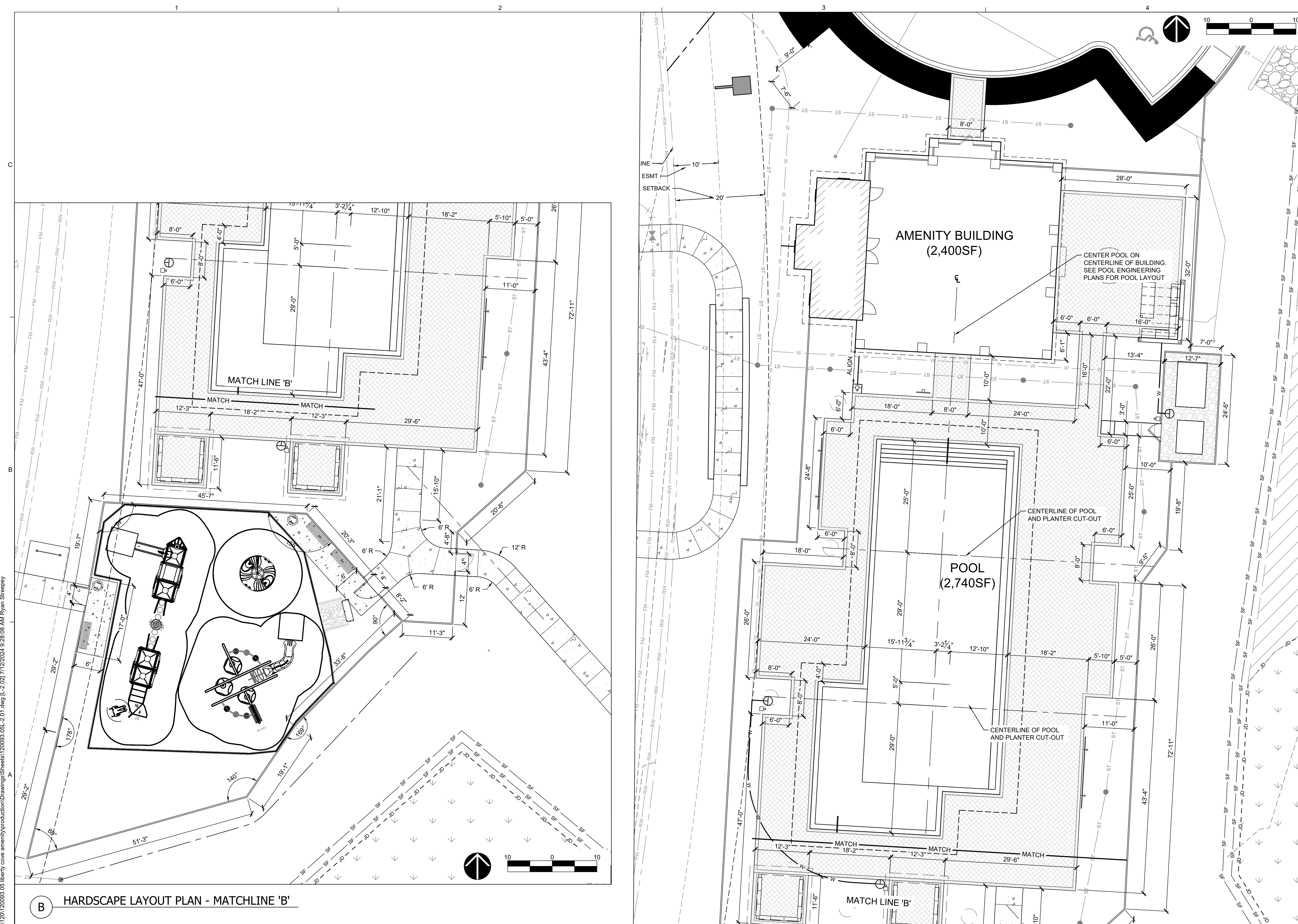
SHEET TITLE

## HARDSCAPE LAYOUT PLAN

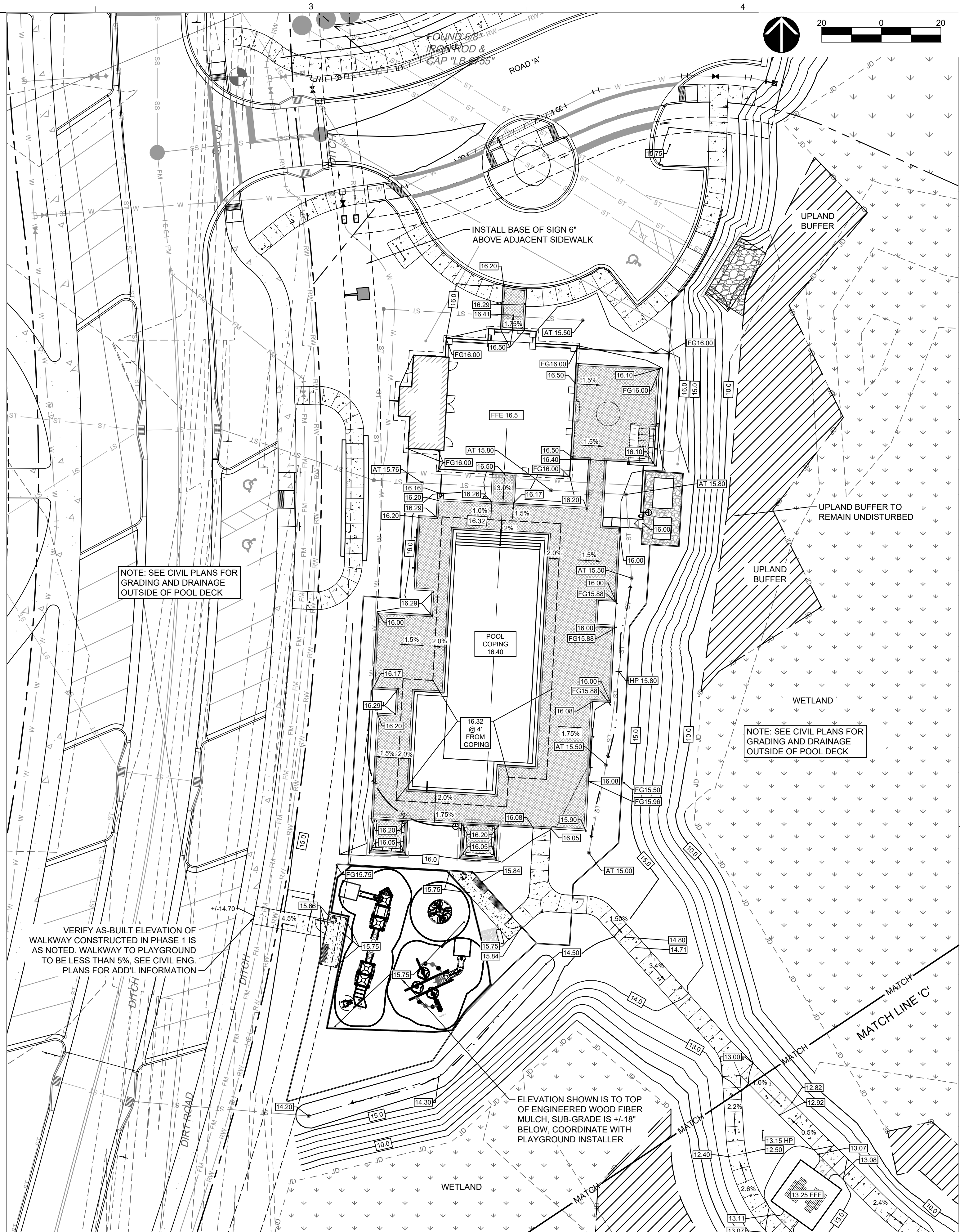
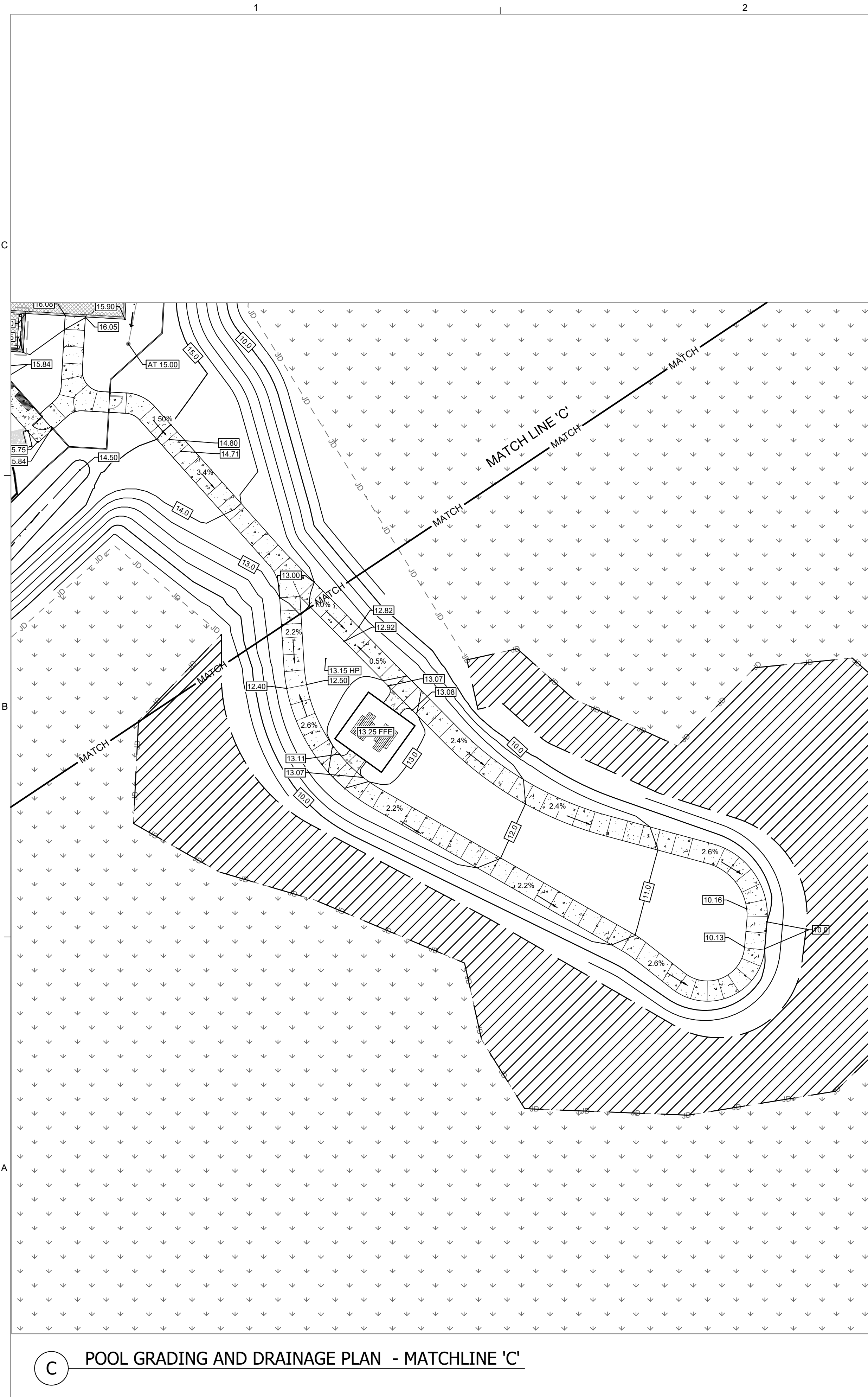
L-2.02

PAUL S. MOSS, JR.  
FL Lic. No. LA 1165  
DATE:

SHEET





LIBERTY COVE  
NASSAU, LLCLIBERTY COVE  
AMENITY CENTER

DATE : 2024-07-12  
PROJECT NO. : 120093.05  
DESIGNED BY : PSM  
DRAWN BY : CDC  
SCALE : AS NOTED

[illegible]

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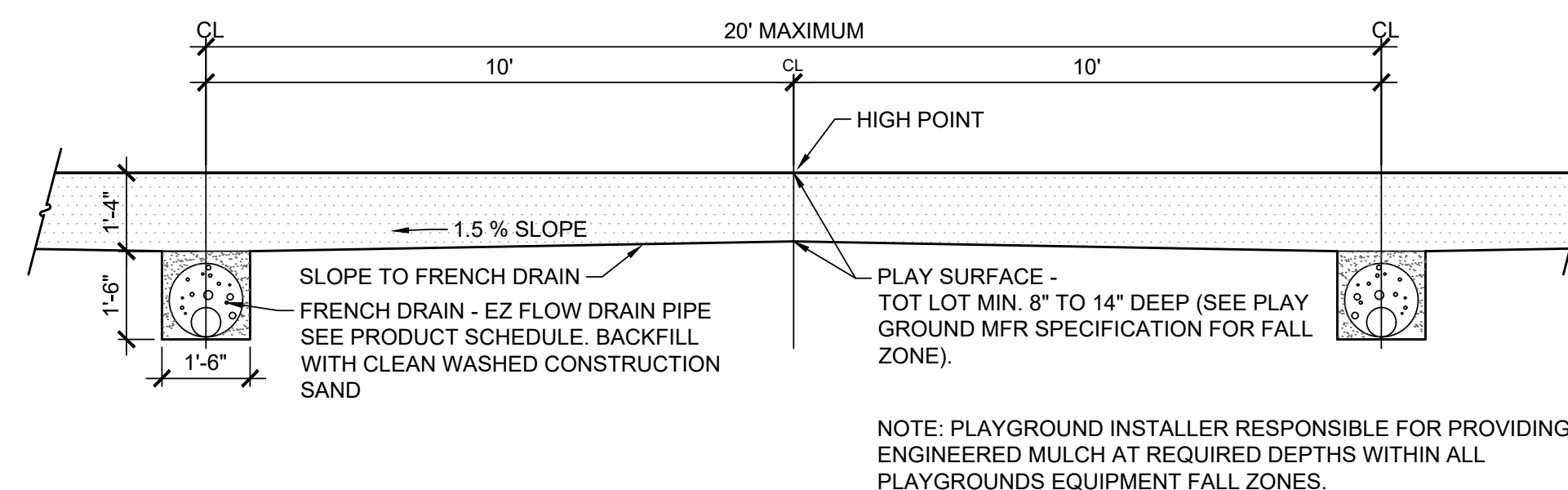
SHEET TITLE

# POOL GRADING & DRAINAGE PLAN

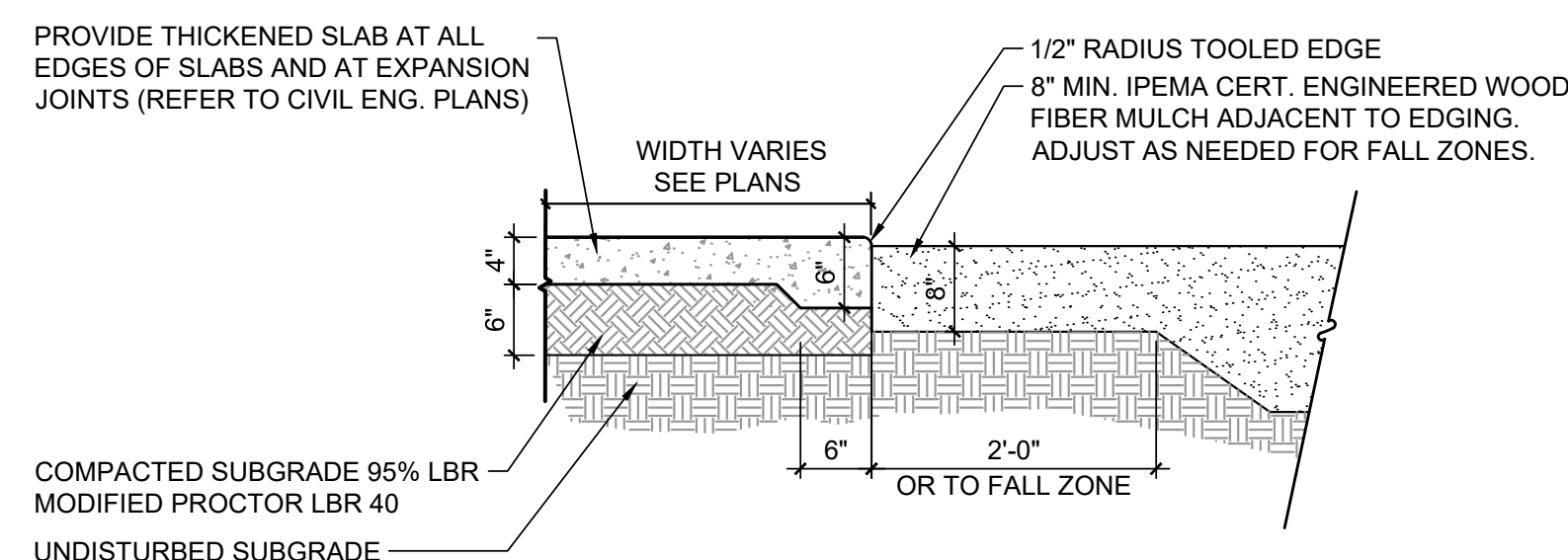


LIBERTY COVE  
NASSAU, LLCLIBERTY COVE  
AMENITY CENTER

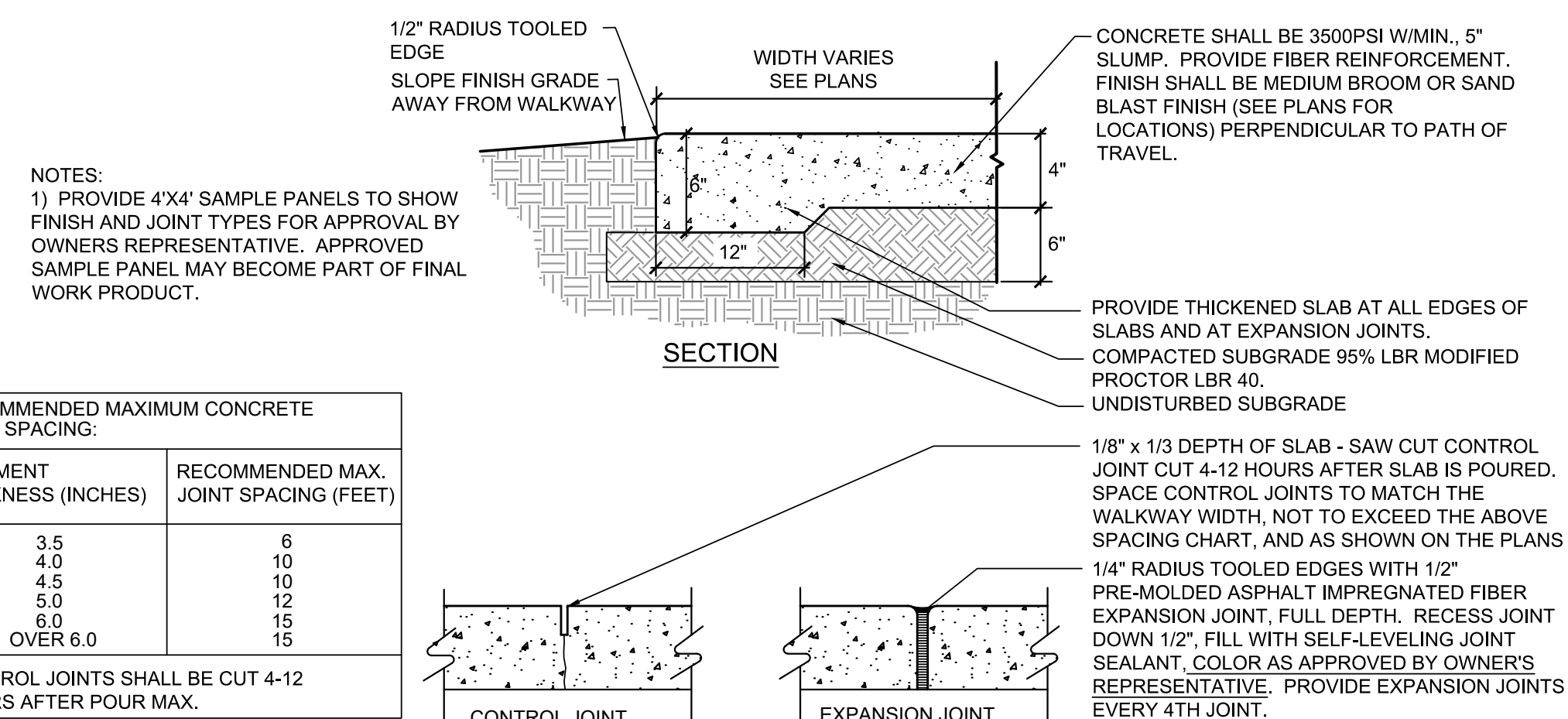
## L-3.01



PLAY AREA DRAINAGE - SECTION

$$3/8'' = 1'-0''$$


### 7 PLAYGROUND AT SIDEWALK SECTION

$$3/4" = 1'-0"$$


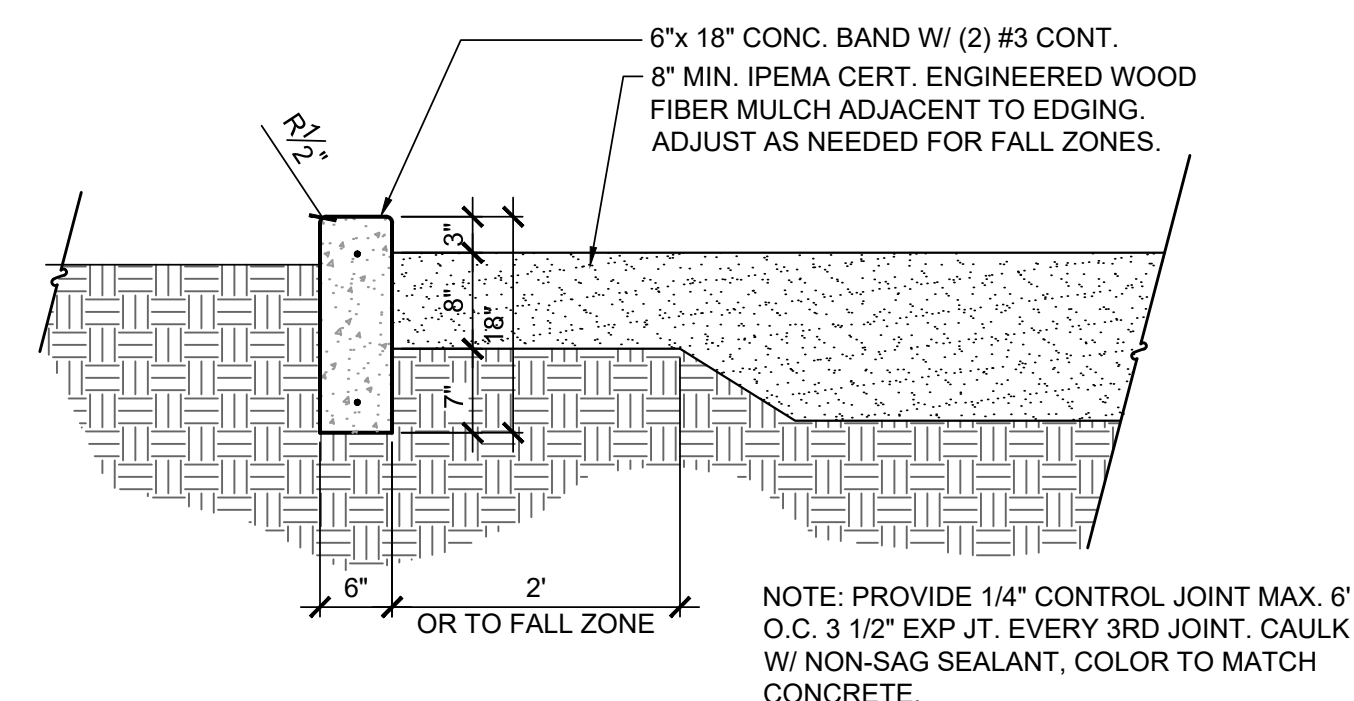
## CONCRETE SIDEWALK DETAILS

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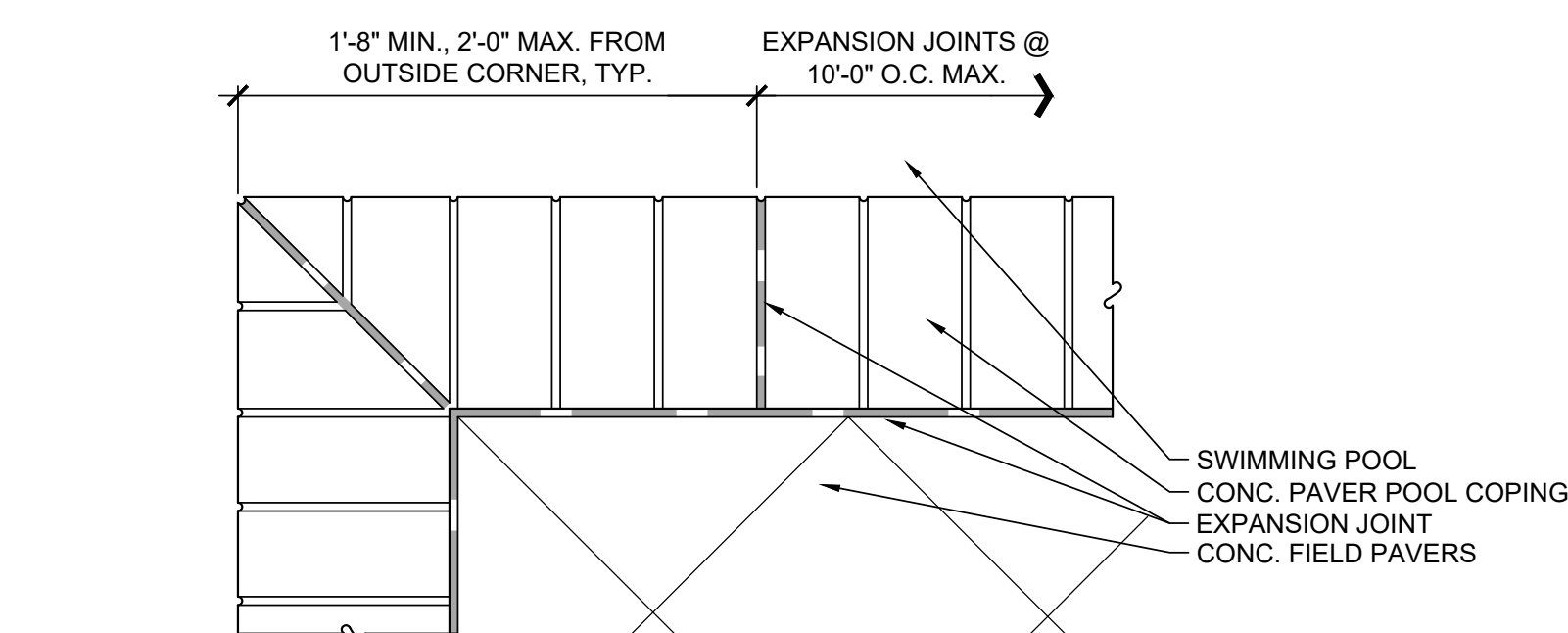
1" = 1'-0"

RECOMMENDED MAXIMUM CONCRETE JOINT SPACING:	
PAVEMENT THICKNESS (INCHES)	RECOMMENDED MAX. JOINT SPACING (FEET)
3.5	6
4.0	10
4.5	10
5.0	12
6.0	15
OVER 6.0	15
CONTROL JOINTS SHALL BE CUT 4-12 HOURS AFTER POUR MAX.	

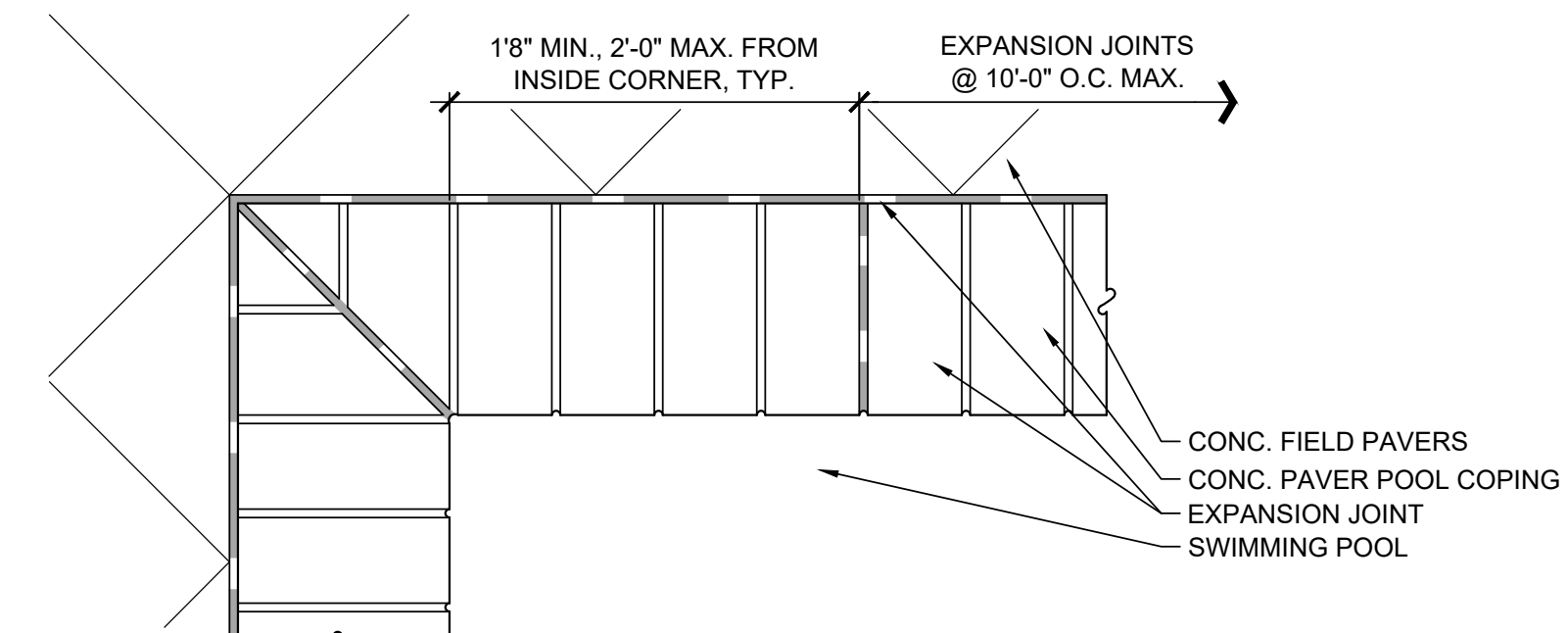
### 1 PLAYGROUND CURB - SECTION

$$3/4'' = 1'-0''$$


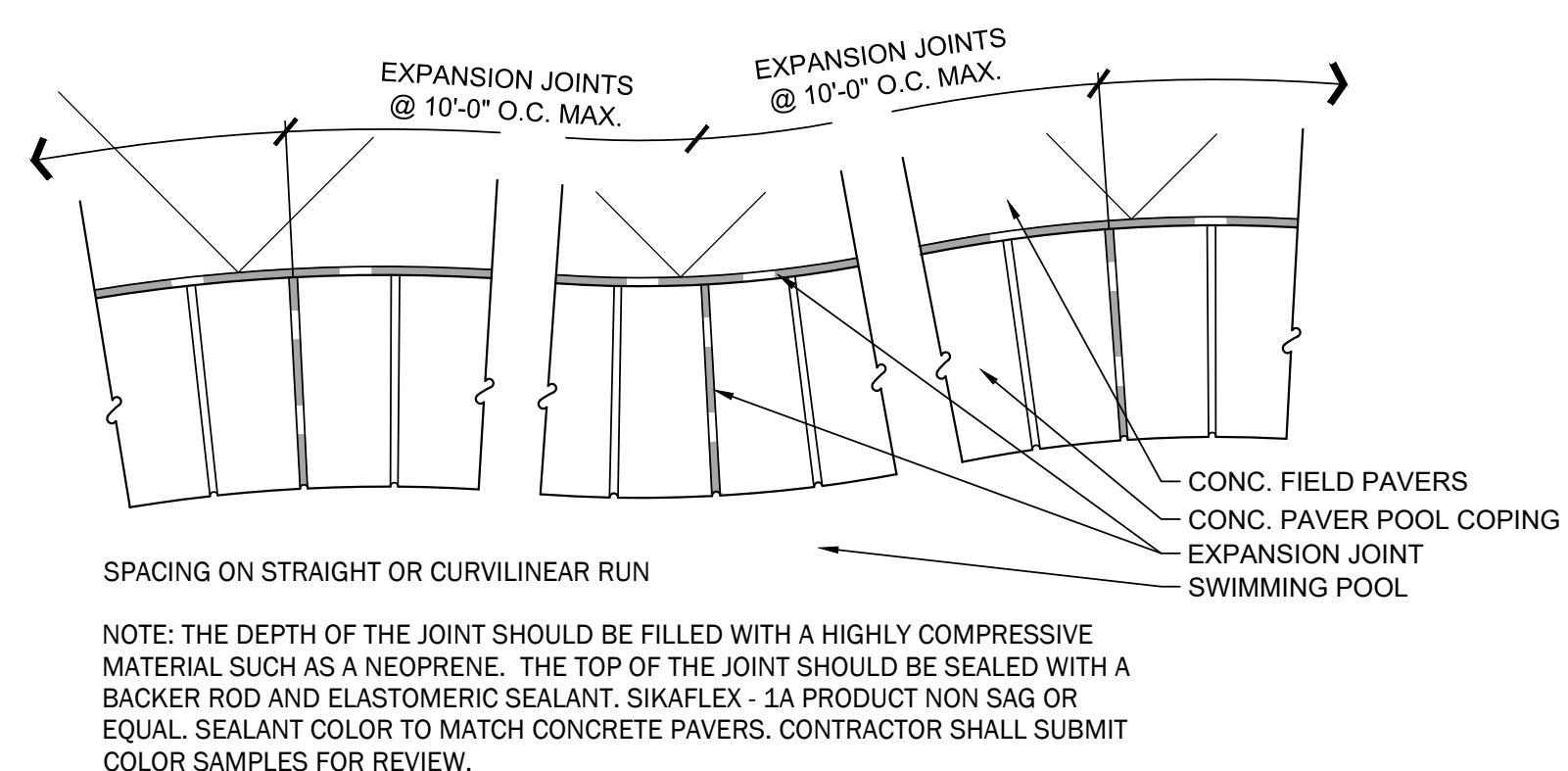
### 1 PLAYGROUND CURB - SECTION

$$3/4'' = 1'-0''$$


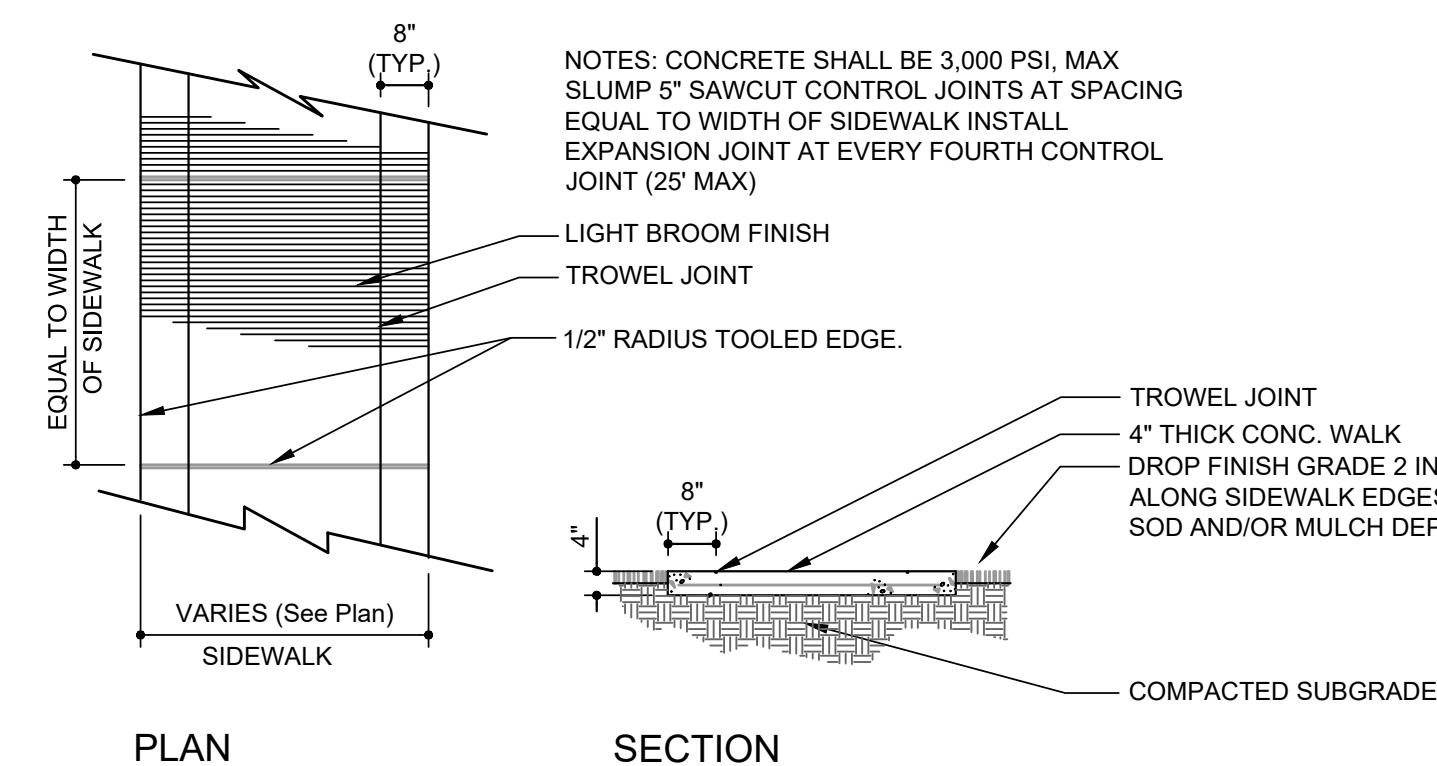
### SPACING ON OUTSIDE CORNER



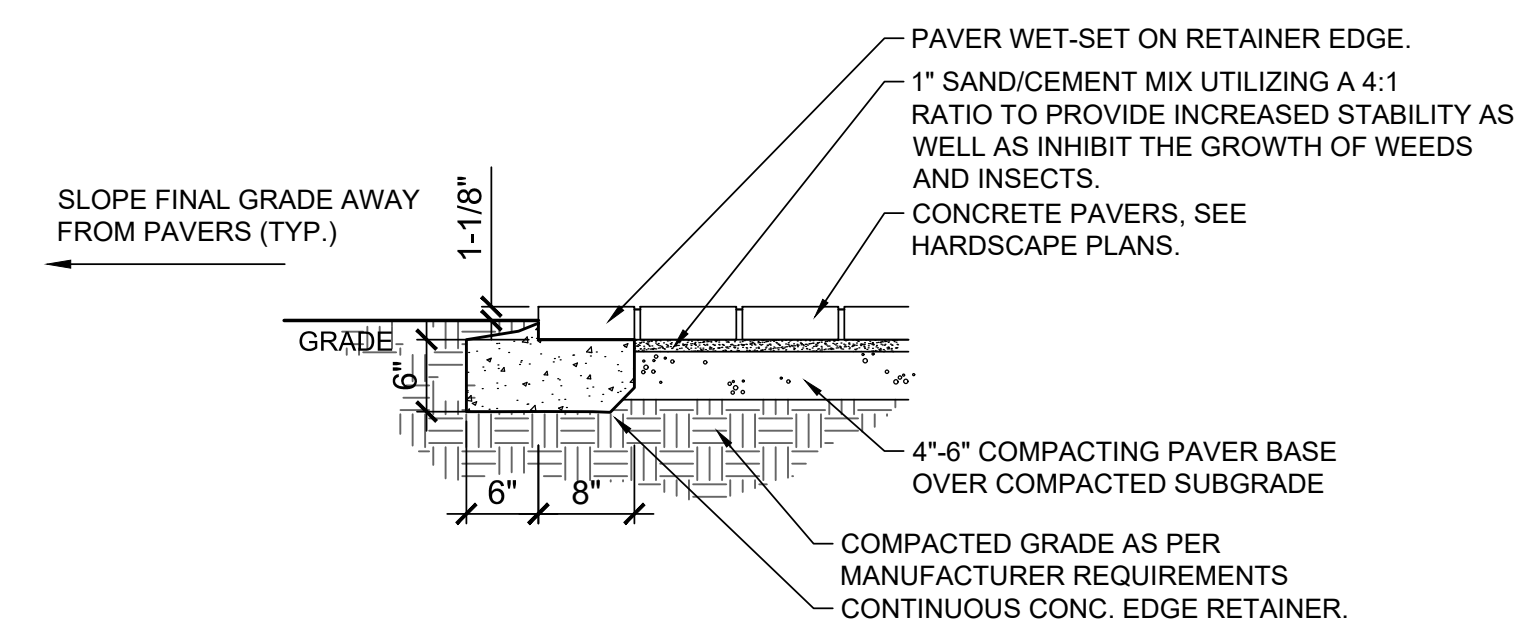
### SPACING ON INSIDE CORNER



2 POOL COPING JOINT DETAIL

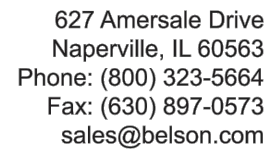
$$1\frac{1}{2}'' = 1'-0''$$


## 2 CONCRETE SIDEWALK FINISH DETAIL

$$3/8'' = 1'-0''$$


## 1 CONCRETE PAVER EDGE RESTRAINT

$$\frac{3}{4}'' = 1'-0''$$



## Dimension Sheet

NOTE: INSTALL PER  
MANUFACTURERS C



## Dimension Sheet

Technical drawings of the steel tubing assembly. The top drawing is a side elevation showing a wavy profile with a total length of 87-3/8 inches and a height of 36 inches. The bottom drawing is a top-down view showing a straight profile with a total length of 91 inches and a diameter of 5-1/2 inches. Both drawings are labeled "Steel tubing (11 gauge)".

NOTE: INSTALL PER  
MANUFACTURERS GUIDELINES



## Dimension Sheet

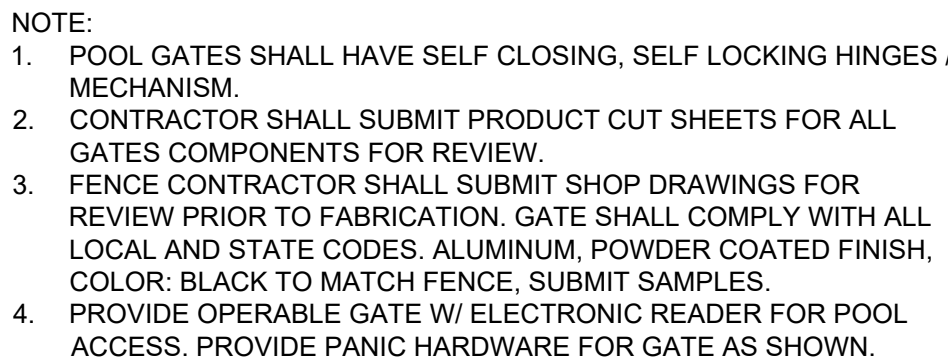
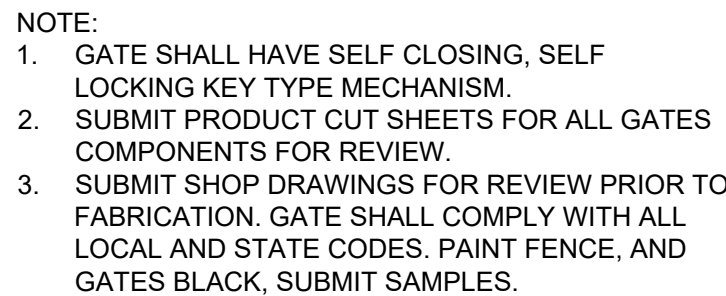
Technical drawing of the 3000 Series Metal Bed, showing a perspective view and two side elevation views with dimensions.

**Perspective View:** Shows the bed frame with a headboard, footboard, and two side rails. The bed is supported by four legs. The mattress is shown with a grid pattern.

**Side Elevation Views:**

- Left Side Elevation:** Shows the bed's profile with dimensions:
  - Overall length: 74"
  - Headboard height: 23-1/2"
  - Footboard height: 18-3/16"
  - Side rail height: 1-9/16"
  - Gap between side rail and mattress: (GAP) 1"
- Right Side Elevation:** Shows the bed's profile with dimensions:
  - Overall width: 24-5/8"
  - Headboard width: 20"
  - Footboard width: 20"
  - Side rail width: 20"
  - Side rail height: 18-3/16"

NOTE: INSTALL PER  
MANUFACTURERS GUIDELINES


$$1/2'' = 1'-0''$$


- NOTE: MAXIMUM OPENING UNDER FENCE SHALL BE 2" MAX. ADJUST GRADE AS REQ.
- MULCH, SEE PLAN
- CONCRETE SIDEWALK
- 3'X 3" FENCE POST W/ POST CAP AS SHOWN. BURIED IN A 1' DIAM. X 3'-0" DEEP CONCRETE FTG.

$$1/2'' = 1'-0''$$

[www.prosserinc.com](http://www.prosserinc.com)

Florida Certificate of Authorization Number: 0000405

LIBERTY COVE  
AMENITY CENTER

DATE : 2024-07-12

PROJECT NO. : 120093.05

DESIGNED BY : PSM

DRAWN BY : CDC

SCALE : AS NOTED

[illegible]

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SHEET TITLE

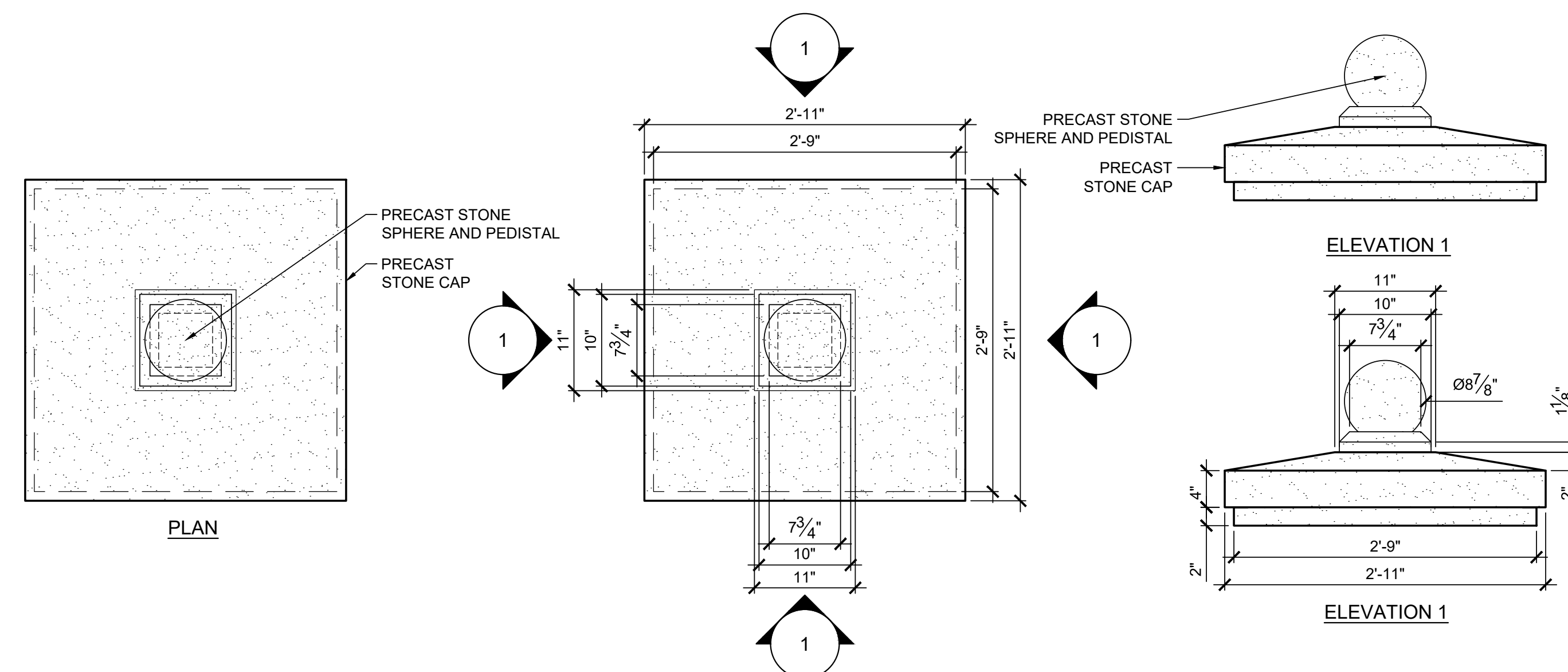
## HARDSCAPE DETAILS

L-3.02

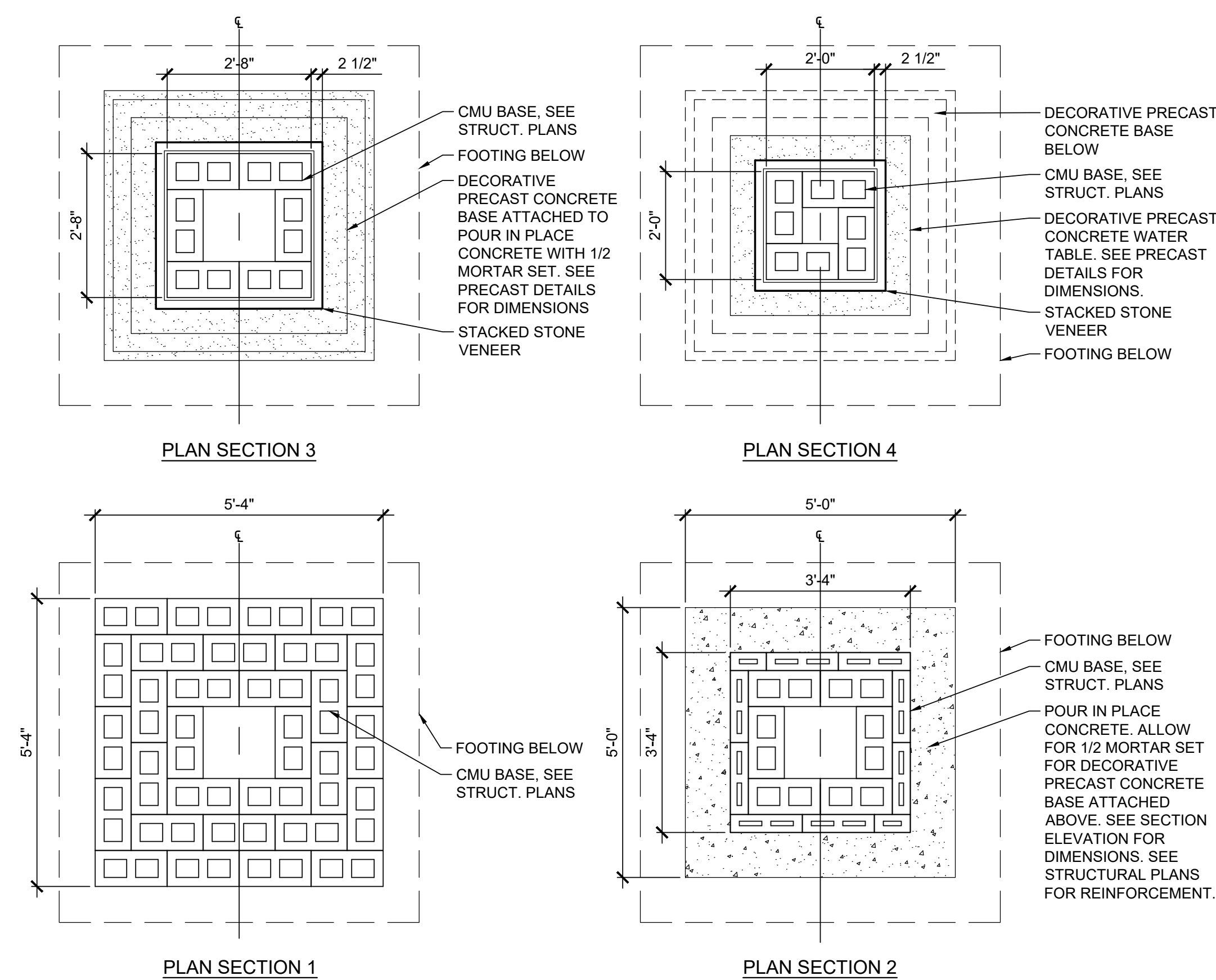
PAUL S. MOSS, JR.  
FL Lic. No. LA 1165  
DATE:

S H E E T



LIBERTY COVE  
NASSAU, LLCLIBERTY COVE  
AMENITY CENTER

5 PRECAST STONE CAP AND SPHERE WITH PEDESTAL MOUNT  
1" = 1'-0"



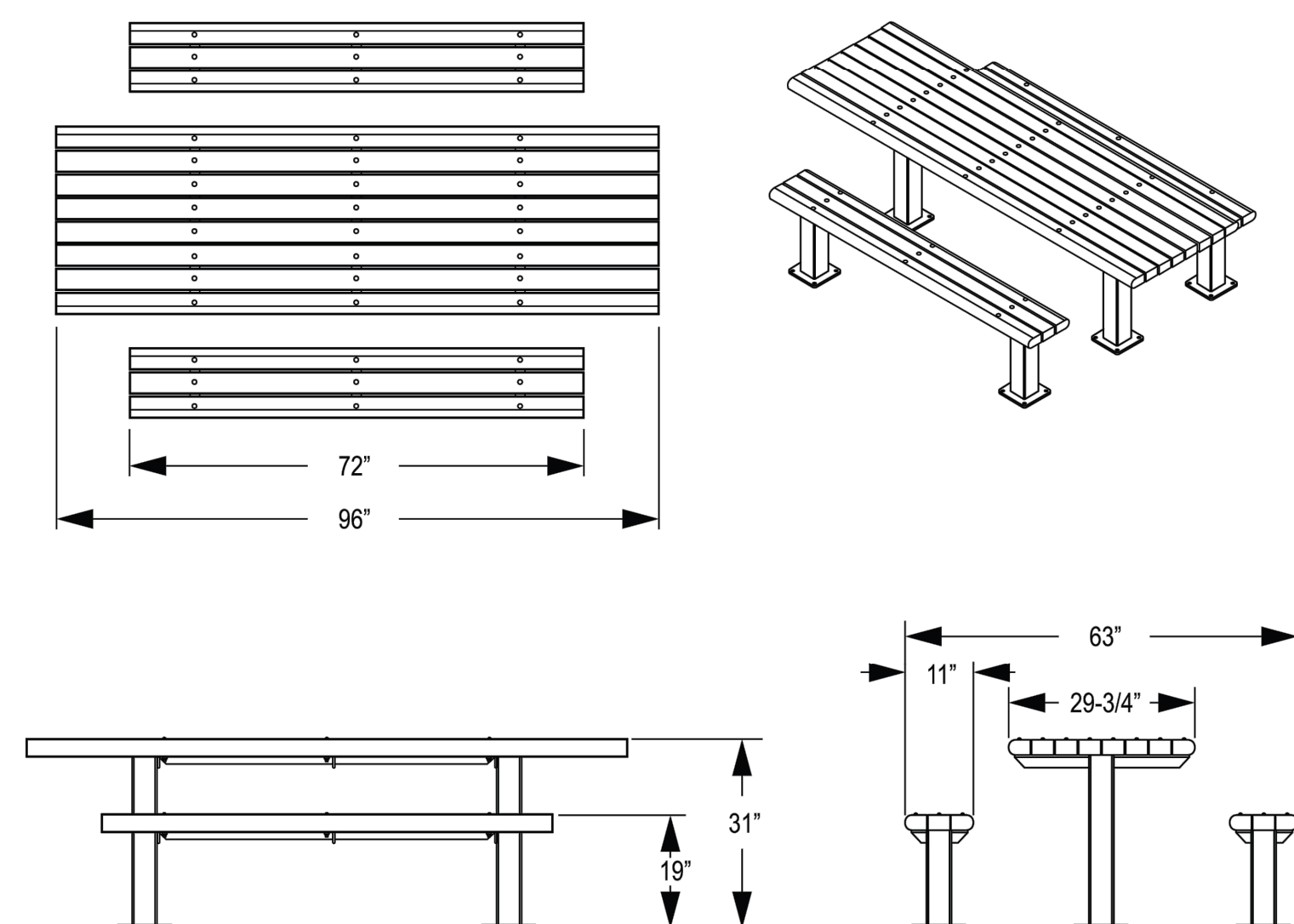
## 4 GROUND MONUMENT SIGN PLAN SECTIONS



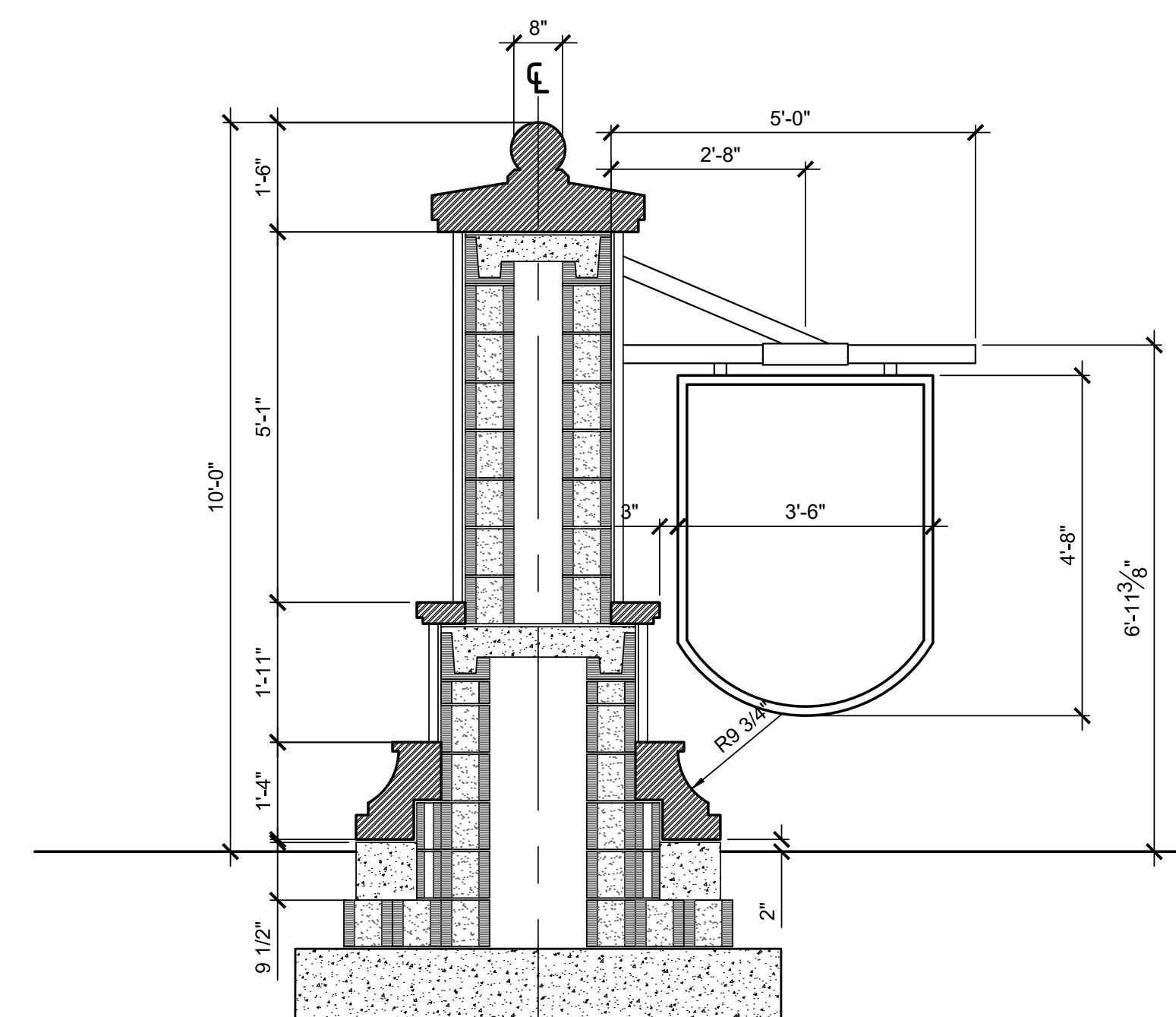
Model # 348SMH-CDR8

## Dimension Sheet

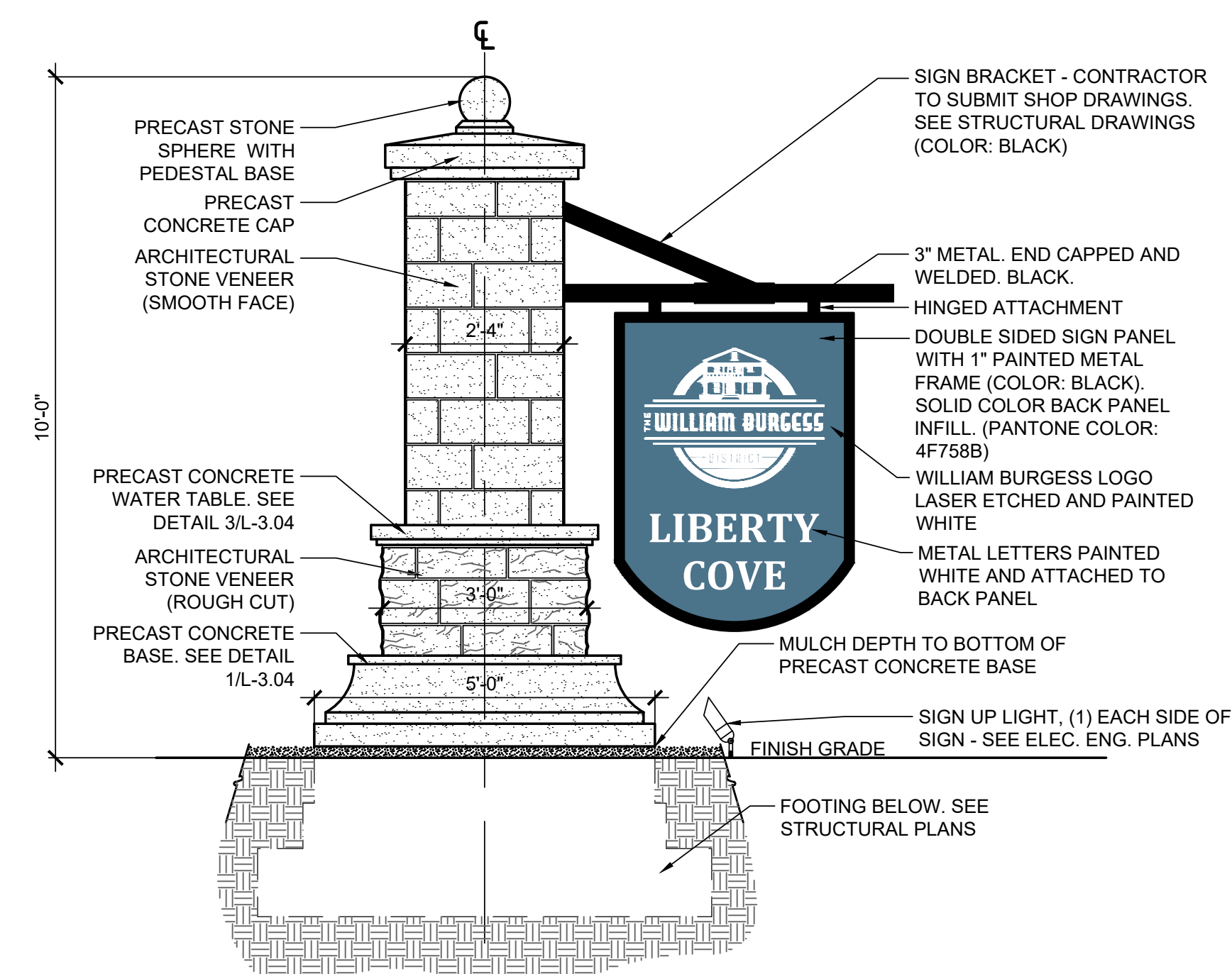
**8' DOUBLE SIDED MULTI PEDESTAL ADA TABLE WITH DETACHED SEATS  
CEDAR RECYCLED PLASTIC TOP AND SEATS SURFACE MOUNT**



### 3 SURFACE MOUNT ADA PICNIC TABLE



2 GROUND MONUMENT SIGN SECTION ELEVATION  
1/2" = 1'-0"



1 GROUND MONUMENT SIGN ELEVATION  
1/2" = 1'-0"

DATE : 2024-07-12

PROJECT NO. : 120093.05

DESIGNED BY : PSM

DRAWN BY : CDC

SCALE : AS NOTED

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[illegible]

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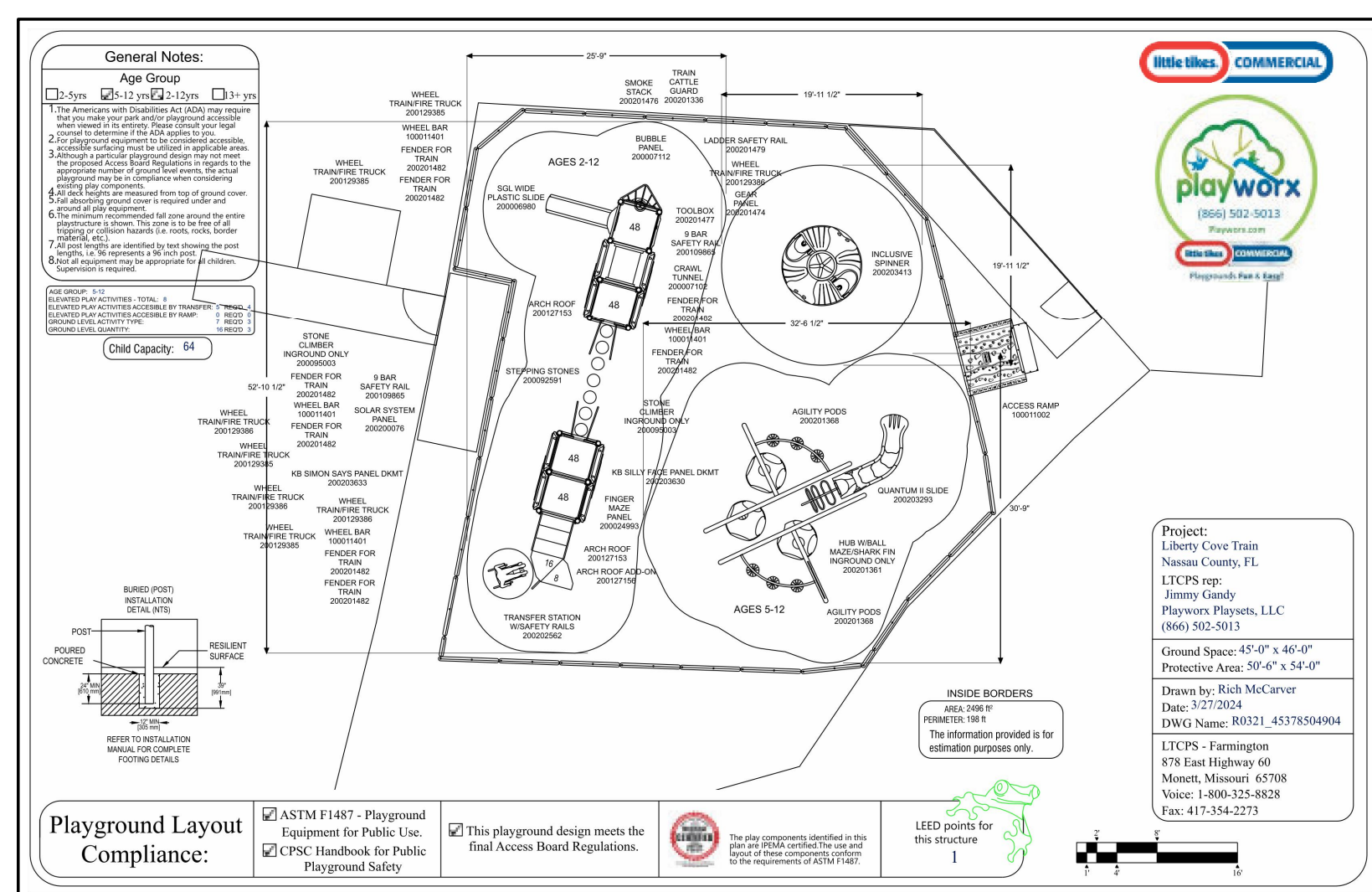
## HARDSCAPE DETAILS

L-3.03

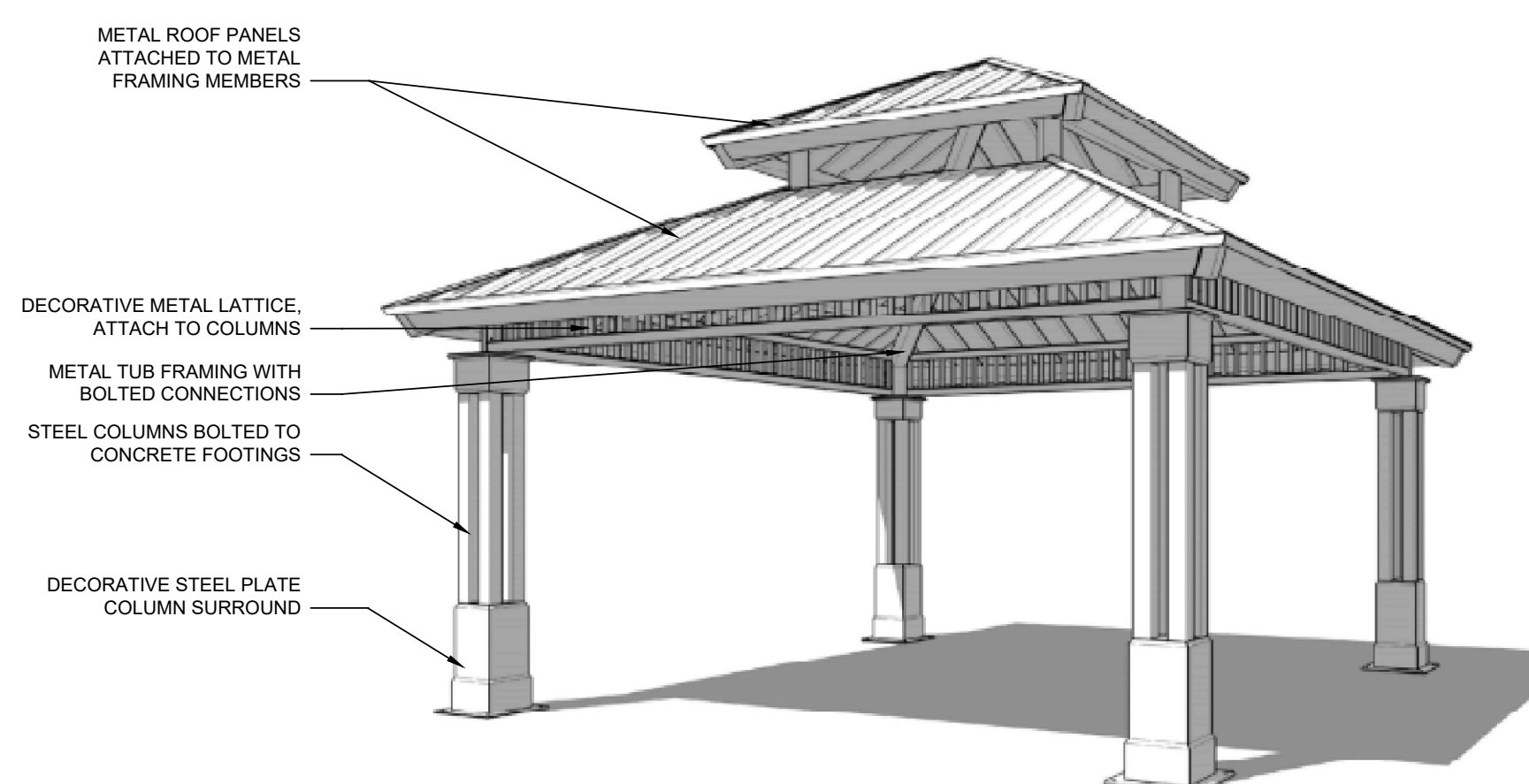
PAUL S. MOSS, JR.  
FL Lic. No. LA 1165  
DATE:

SHEET



LIBERTY COVE  
NASSAU, LLCLIBERTY COVE  
AMENITY CENTER

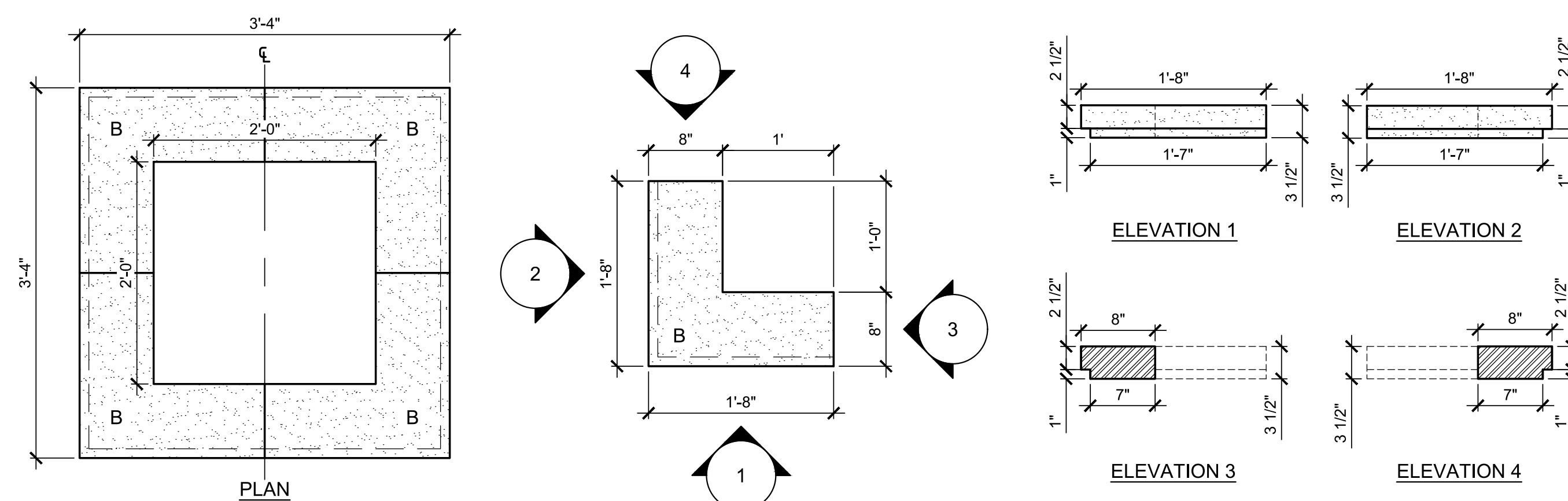
## 4 PLAYWORX PLAYGROUND



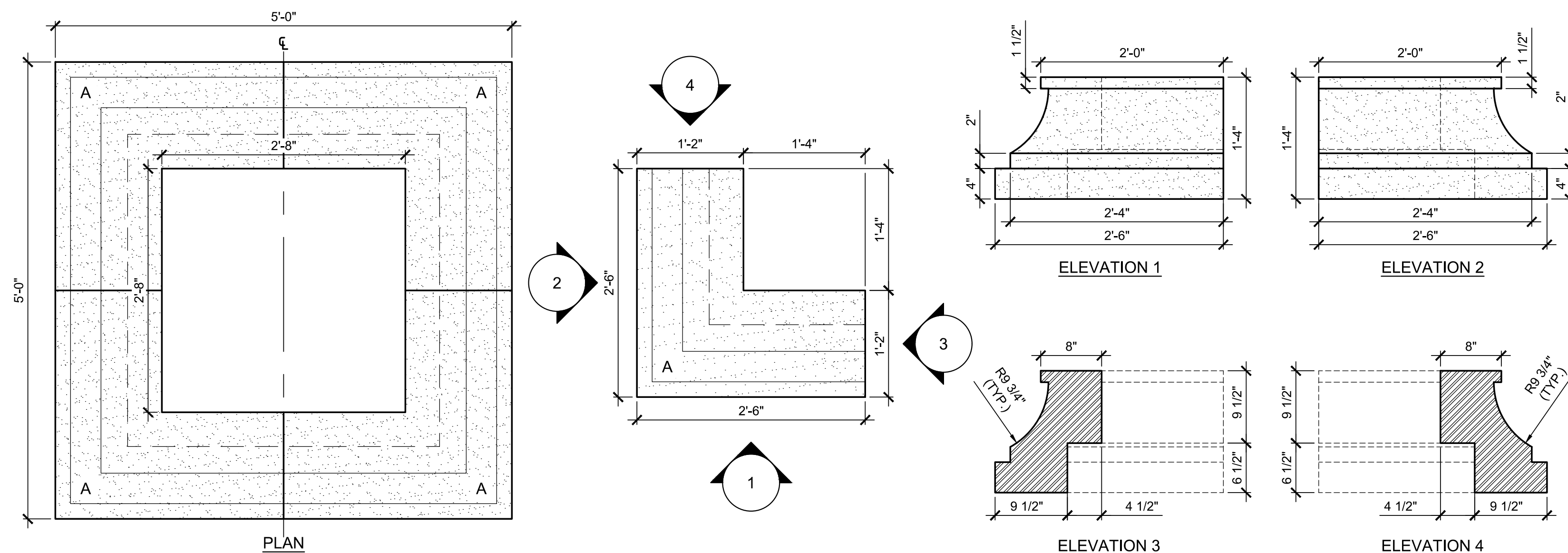
**NOTES**

1. SEE HARDSCAPE PLANS FOR LOCATIONS AND SIZES OF PAVILIONS REQUIRED.
2. CONTRACTOR TO PROVIDE SIGNED & SEALED DRAWINGS FOR PERMITTING AND CONSTRUCTION.
3. SEE HARDSCAPE SCHEDULE FOR MANUFACTURER INFORMATION

2 PRE-FABRICATED PAVILION  
1/4" = 1'-0"



3 PRECAST STONE WATER TABLE - GROUND MONUMENT SIGN  
1" = 1'-0"



1 PRECAST STONE BASE - GROUND MONUMENT SIGN  
1" = 1'-0"

DATE : 2024-07-12  
PROJECT NO. : 120093.05  
DESIGNED BY : PSM  
DRAWN BY : CDC  
SCALE : AS NOTED

[illegible]

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CONSTRUCTION UNLESS SO NOTED ABOVE

SHEET TITLE

## HARDSCAPE DETAILS

L-3.04

PAUL S. MOSS, JR.  
FL Lic. No. LA 1165  
DATE:

S H E E T